

Planning Committee

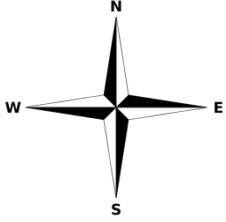


GREATER CAMBRIDGE
SHARED PLANNING

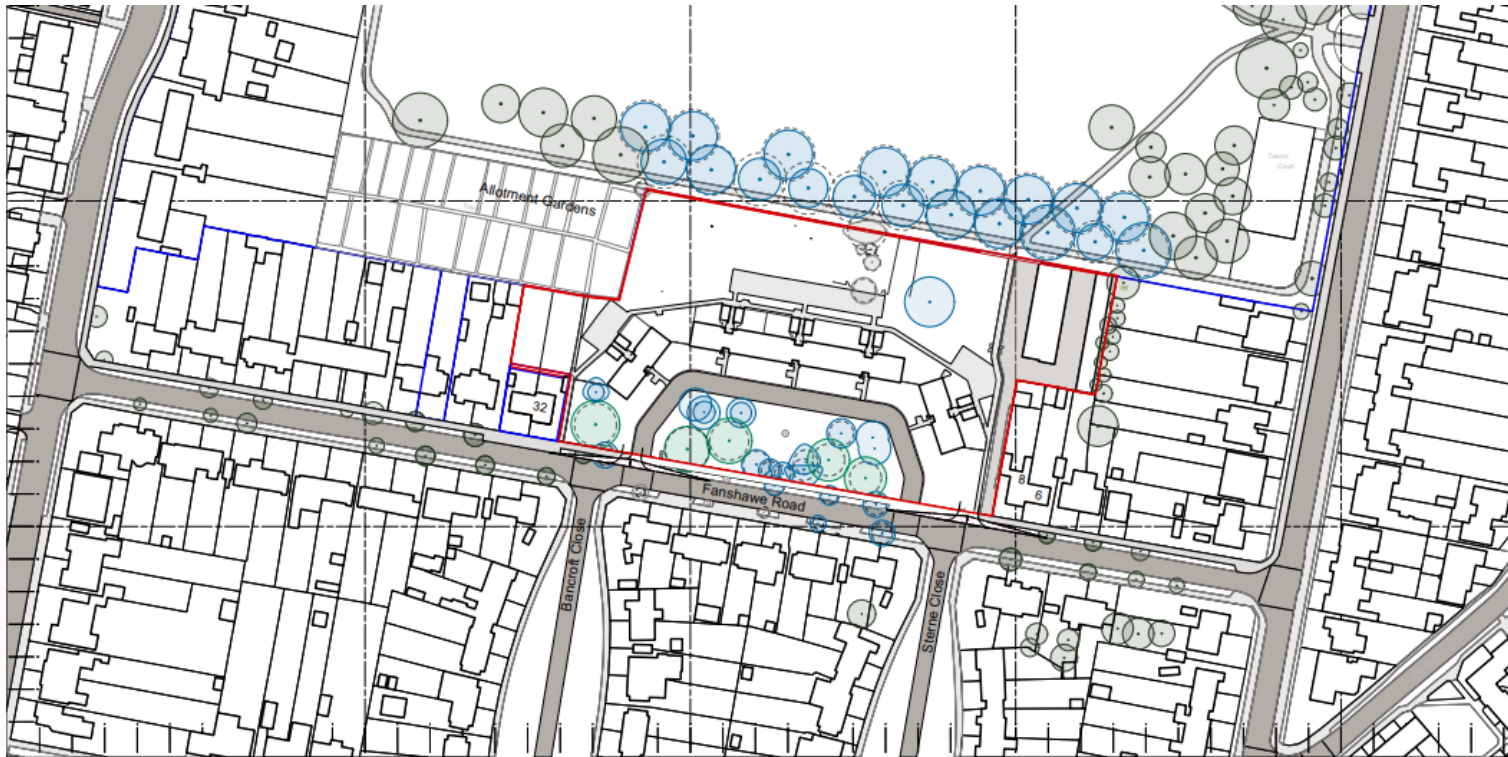
MAJOR APPLICATIONS

23/04686/FUL

12-34 Fanshawe Road Site Location Plan



Page 3



	EXISTING TREE CAT A		UNSURVEYED EXISTING TREE
	EXISTING TREE CAT B		
	EXISTING TREE CAT C		



Fanshawe Road Fanshawe Road, Cambridge Cambridge Investment Partnership	
Job no. 2105	
dwg. No. P_000	
Title Existing Location Plan	
Status Planning	Rev PL1
Scale 1:1250 @ A3	
Date 14/07/2023	

Mole

Mole Architects
Floor 2, 52 Burleigh Street
Cambridge
CB1 1UJ
Tel 01223 913012
www.molearchitects.co.uk

DO NOT SCALE FROM THIS DRAWING. VERIFY ALL DIMENSIONS ON SITE. DRAWING SHOULD BE READ IN CONJUNCTION WITH INFORMATION FROM ALL OTHER DESIGN CONSULTANTS AND CONTRACTORS. ALL DRAWINGS IN DIGITAL FORMAT ARE FOR REFERENCE ONLY.



Aerial View

Page 4



Coleridge Recreation Ground

Allotments

Communal Gardens and Protected open Space

Access to Recreation ground

Hard-standing washing drying area

Existing Garages on Site

Existing 3 Storey apartments

Sub station

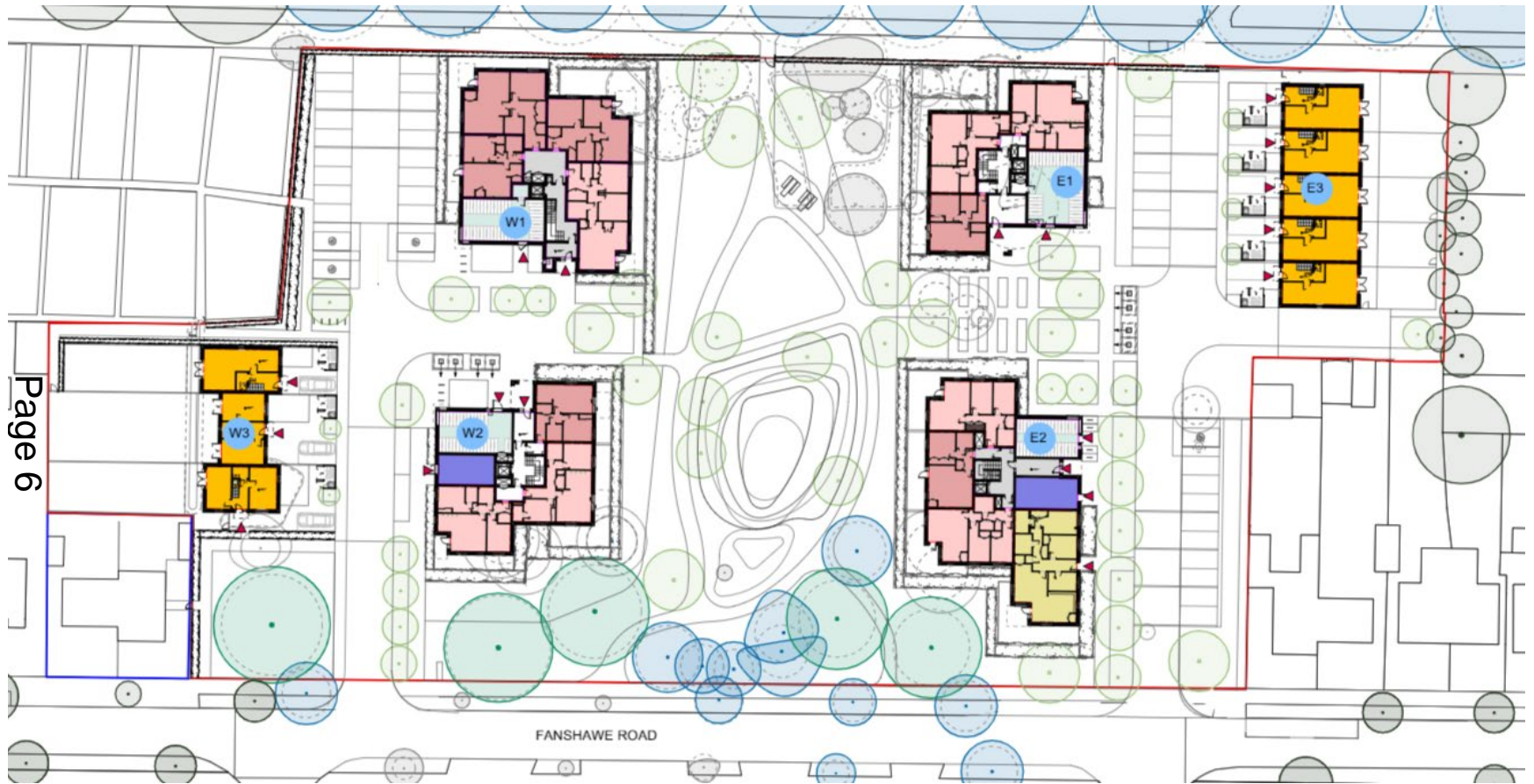
Protected Open Space

Aerial View of the Proposed Development

Page 5



Proposed Block Plan/ Ground Floor Plan



Proposed Roof Plan



Page 7

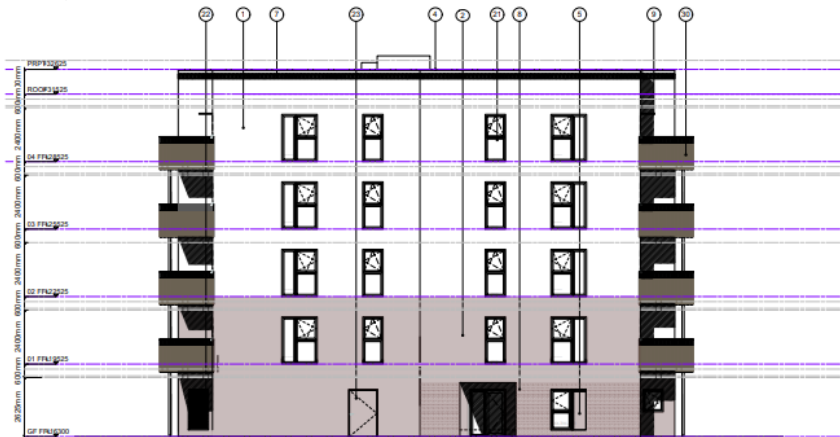
Elevations- Block W1



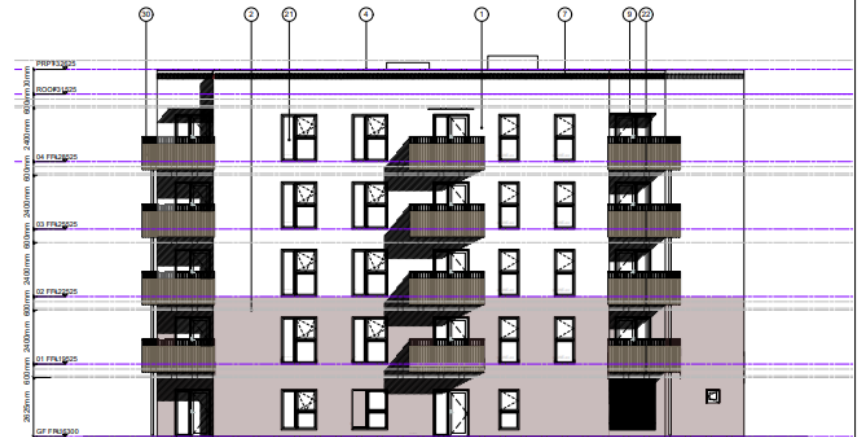
1 W1 North Elevation
Scale: 1:100 @ A1




2 W1 East Elevation
Scale: 1:100 @ A1



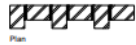
3 W1 South Elevation
Scale: 1:100 @ A1




4 W1 West Elevation
Scale: 1:100 @ A1




Elevation




Parapet Detail



D_02
Scale: Not To Scale



7 Brick 1
Scale: n/a



8 Brick 2
Scale: n/a

Elevations- Block E1



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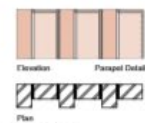
1 North Elevation
Scale: 1:100 @ A1

2 East Elevation
Scale: 1:100 @ A1



3 South Elevation
Scale: 1:100 @ A1

4 West Elevation
Scale: 1:100 @ A1



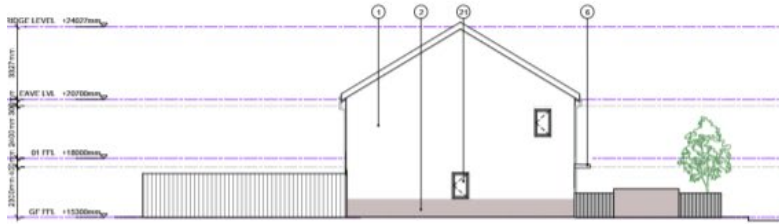
5 D. 01
Scale: 1:10 @ A1

6 D. 02
Scale: 1:10 @ A1

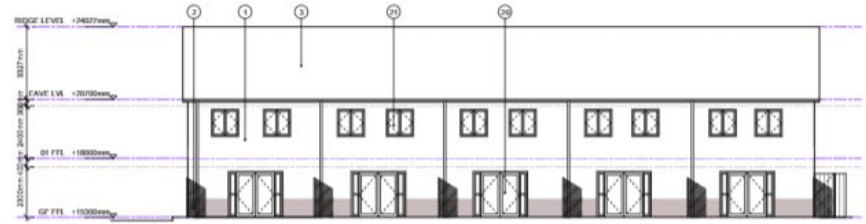
7 Brick 1
Scale: 1:10 @ A1

8 Brick 2
Scale: 1:10 @ A1

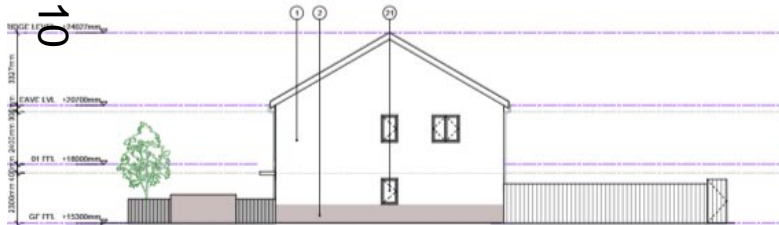
Elevations- Block E3



1 E3 North Elevation
Scale: 1:100 @ A1



2 E3 East Elevation
Scale: 1:100 @ A1

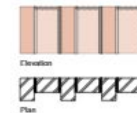


3 E3 South Elevation
Scale: 1:100 @ A1



4 E3 West Elevation
Scale: 1:100 @ A1

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5 D.01
Scale: 1:10 @ A1



6 D.02
Scale: Not To Scale



7 Brick 1
Scale: n/a



8 Brick 2
Scale: n/a



General Elevation:

- 1. Brick Finish A: White Brick
- 2. Brick Finish B: Dark Brown Brick
- 3. Terraced House Roof Finish: Grey Tile

Windows and Doors:

- 20. Aluminium Composite Door
- 21. Aluminium Composite Window with Aluminium Cill
- 22. Steel Covers for Bike Stems

Balconies:

- 30. Powder Coated Steel Balconies with Vertical Steel Rails - Champagne

Frontdoor Road
 Frontdoor Road, Langney
 Gloucestershire, G12 9JG
 Tel: 01453 2155
 Email: A_3655



Elevations- Block W2



1 W2 North Elevation
Scale: 1:100 @ A1

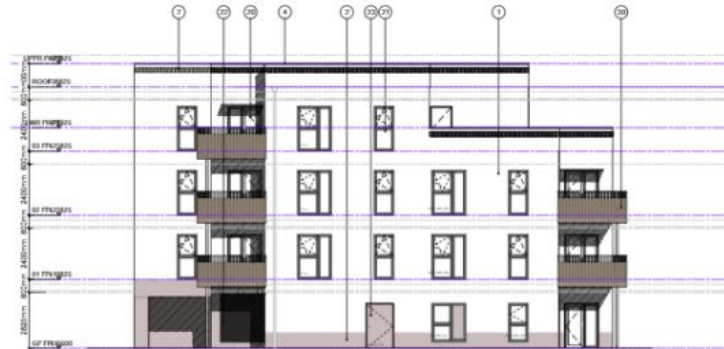


2 W2 East Elevation
Scale: 1:100 @ A1

Page 11



3 W2 South Elevation
Scale: 1:100 @ A1



4 W2 West Elevation
Scale: 1:100 @ A1



General Elevation:
1. Brick Finish A: White Brick
2. Brick Finish B: Dark Brown Brick
3. Finished (House) Roof Finish: Grey Clay

Windows and Doors:
20. Aluminum Composite Door
21. Aluminum Composite Window with Aluminum Cill
22. Steel Lenses for Glass Slides

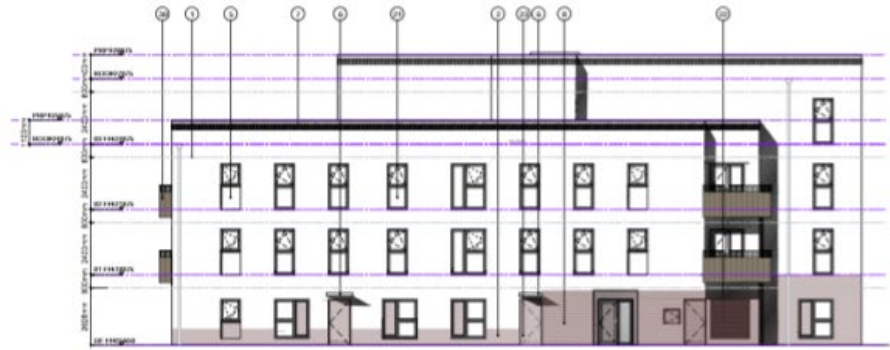
Materials:
23. Powder Coated Steel Balustrade with Vertical Glass Panels - Champagne

Framework: Steel
 Structure: Steel
 Floor: 250
 Scale: A: 3001
Mole
 Scale: n/a

Elevations- Block E2



1 E2 North Elevation
Scale: 1:100 @ A1



2 E2 East Elevation
Scale: 1:100 @ A1

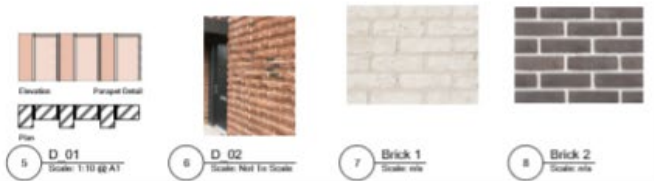


3 E2 South Elevation
Scale: 1:100 @ A1



4 E2 West Elevation
Scale: 1:100 @ A1

Page 12



5 D 01
Scale: 1:10 @ A1

6 D 02
Scale: Not to Scale

7 Brick 1
Scale: n/a

8 Brick 2
Scale: n/a

General Elevation	
1	Brick Finish A: White Brick
2	Brick Finish B: Dark Brown Brick
3	Textured Masonry Panel Finish: Stone Stone

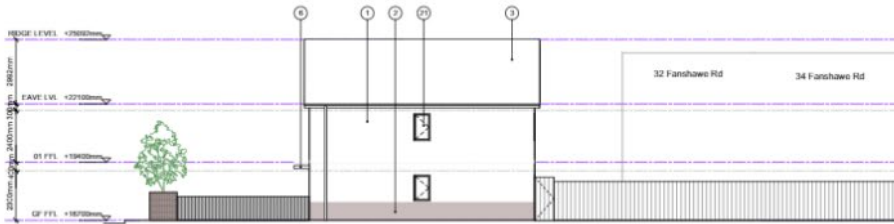
Windows and Doors	
20	Aluminium Composite Door
21	Aluminium Composite Window with Aluminium Clr
22	Steel Screens for Glass Doors

Balconies	
30	Powder Coated Steel Balconies with Vertical Steel Rails - Champagne

Hardware - Steel	
31	Hardware - Steel, Champagne
32	Hardware - Steel, Champagne
33	Hardware - Steel, Champagne



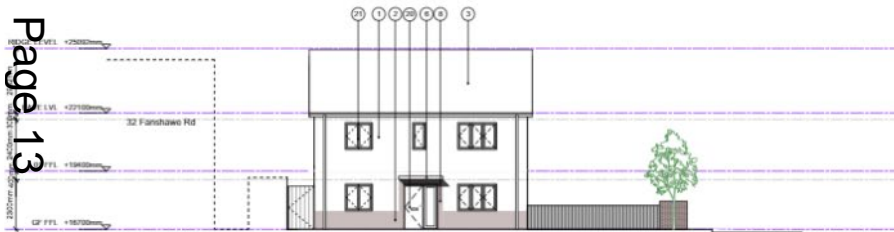
Elevations- Block W3



1 W3 North Elevation
Scale: 1:100 @ A1



2 W3 East Elevation
Scale: 1:100 @ A1

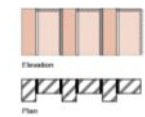


3 W3 South Elevation
Scale: 1:100 @ A1



4 W3 West Elevation
Scale: 1:100 @ A1

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5 D 01
Scale: 1:10 @ A1



6 D 02
Scale: Not To Scale



7 Brick 1
Scale: n/a



8 Brick 2
Scale: n/a

1:10 15/10/21-104
1:10 16/11/20 16 10 000






General Elevation:
1 Brick Finish A: White Brick
2 Brick Finish B: Pink Roman Brick




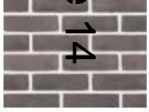


Windows and Doors:
20 Aluminum Composite Door
21 Aluminum Composite Window with Aluminum F&B

Balconies:
30 Powder Coated Steel Balconies with
Vertical Steel Males - Chromium



Materials- Apartments

4.6 Materiality - Apartments

-  1: Parapet Detail.
-  2: Balcony railings panel Detail.
-  3: Pale white brick with off-white mortar joints.
-  4: Dark brown bricks with white mortar joints.
-  5: Champagne metalwork and vent panels.
-  6: Example of protruding brick banding entrance areas.



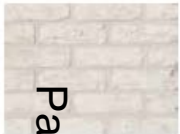
Materials- Houses



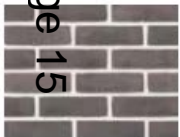
1:
Grey roof tiles



2:
Example of protruding brick banding entrance areas.



3:
Pale white brick with off-white mortar joints.



4:
Dark brown bricks with white mortar joints.

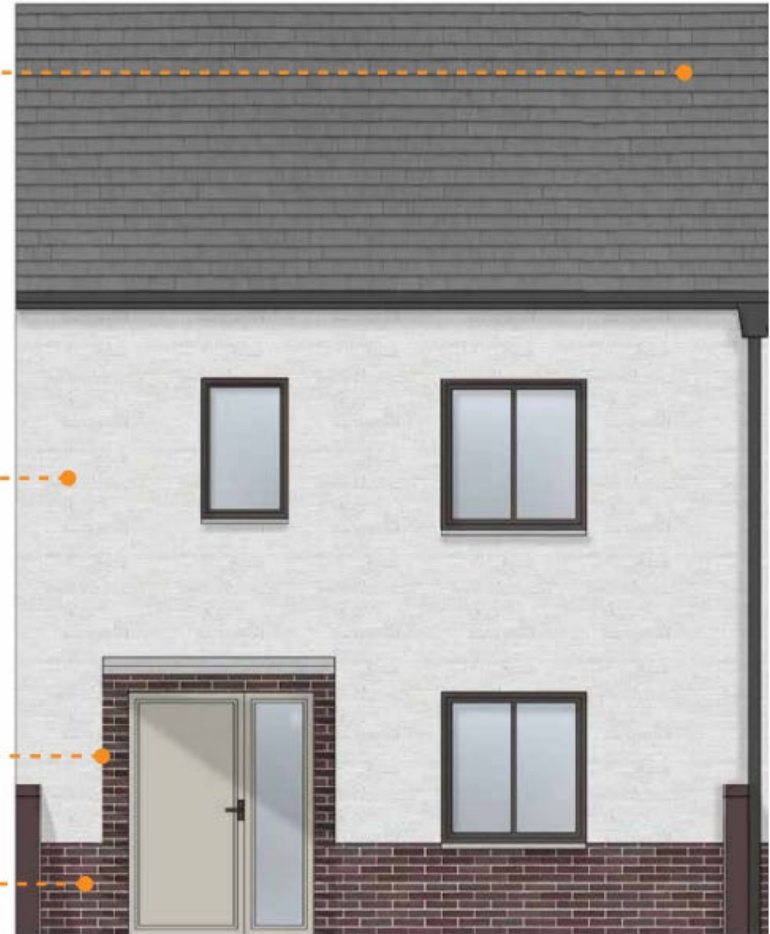
Page 15

1

3

2

5



New play spaces

Publicly accessible

Enhanced permeability

Biodiversity enhancements

Page 16



- A Central play space area
- B Attenuation basin
- C Play bridges and slides
- D Wildflower planting
- E Planted garden
- F Outdoor eating & social gathering area under pergola
- G Defensible planting
- H Open flexible lawn
- I Parking court
- J Fanshawe Road entrance to the park
- K Informal play trail through wildflowers
- L Visitor cycle stands
- M Park trees in public areas
- N Communal courtyard
- O Food growing & raised beds
- P Gravel edge

Planning Balance

Positives

- The proposal would provide a high quality residential development (84 homes) on a brownfield site which is located in a sustainable location.
- 40% of the residential development to be secured via the Section 106 agreement as affordable housing.
- Commitment to delivering Biodiversity Net Gain on site.
- Replacement tree planting and retention of all category A trees.
- Enhanced open space
- £533,000.00 financial contributions towards key services, community, sports facilities and transport infrastructure.



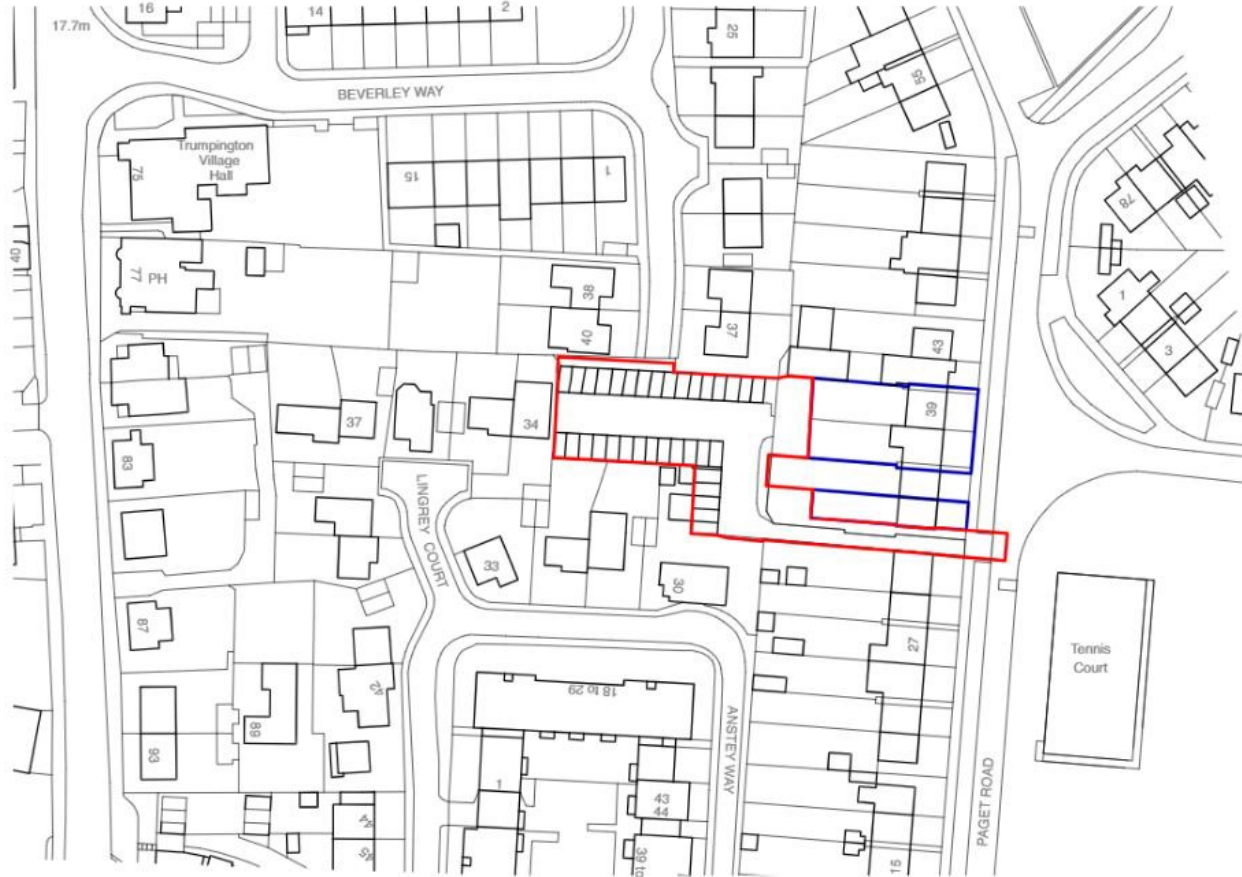
Negatives

- Loss of existing trees
- Single aspect homes

MINOR APPLICATIONS

24/00973/FUL - Land to Rear of 33-39

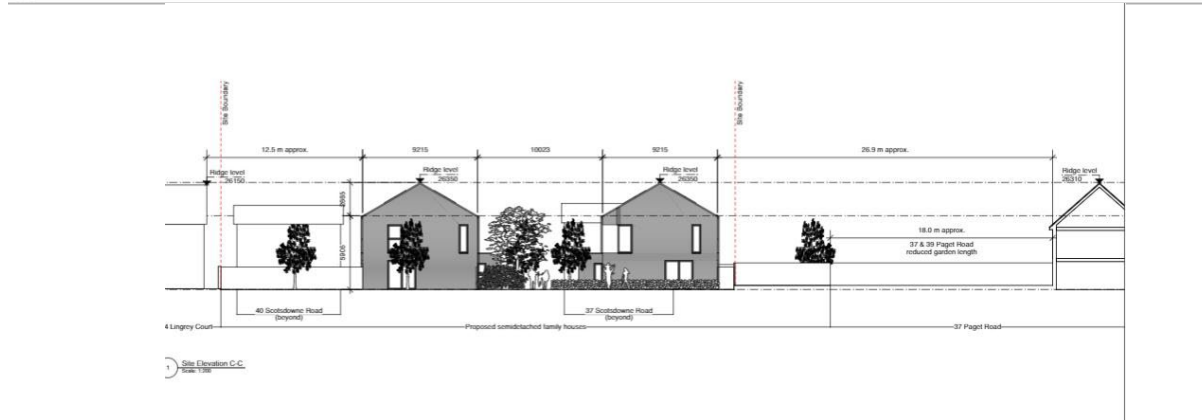
Paget Road Site Location Plan



Proposed site plan



Proposed Site Elevations

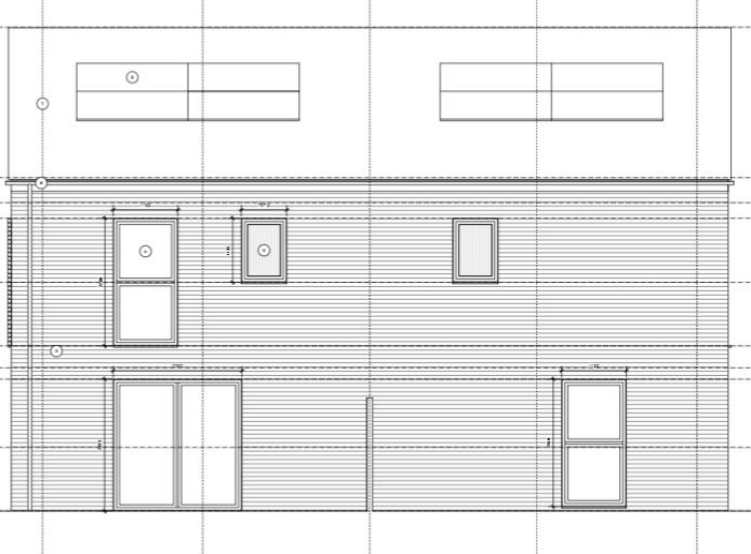


W1 & W2 Proposed Elevations

Front – East elevation



Rear – West elevation



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Side – North elevation

E1 & E2 Proposed Elevations

Front – West elevation



Rear – East elevation



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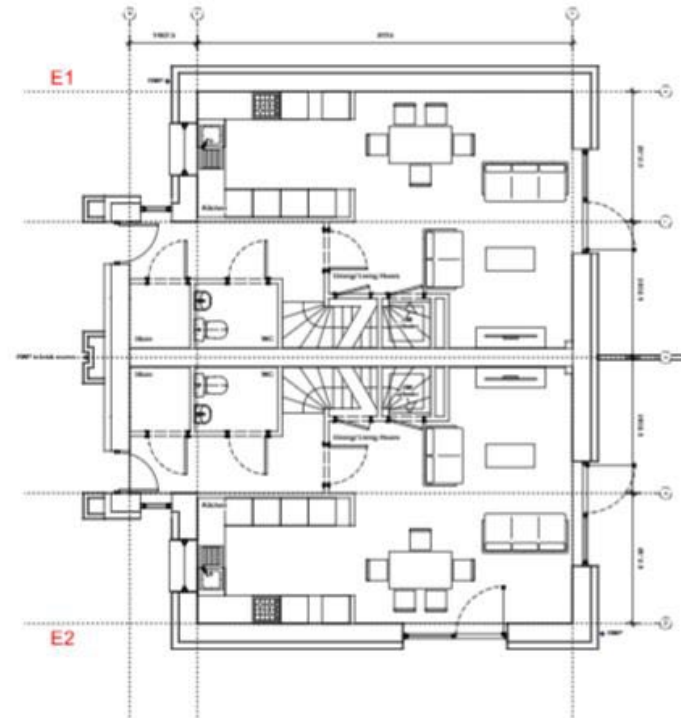
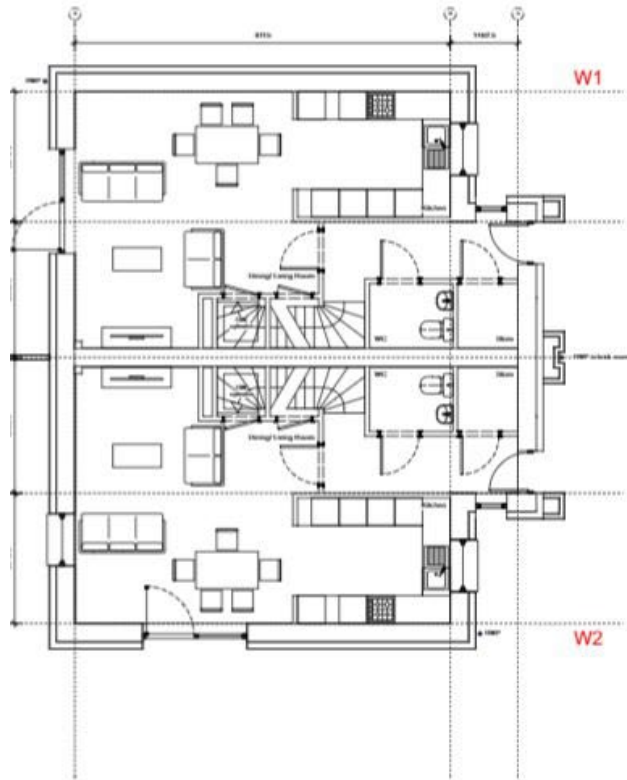
Side – North elevation



Side – South elevation

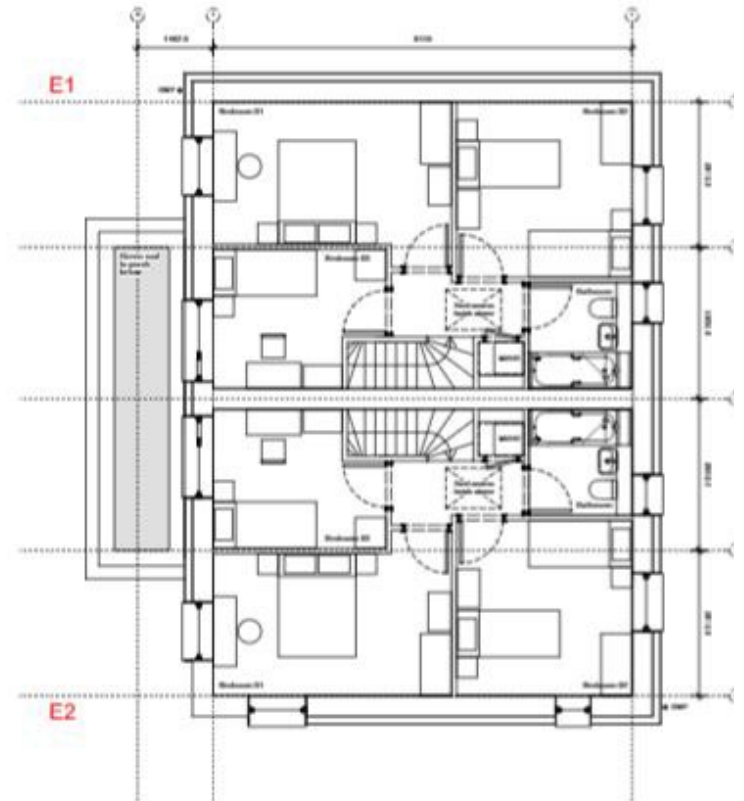
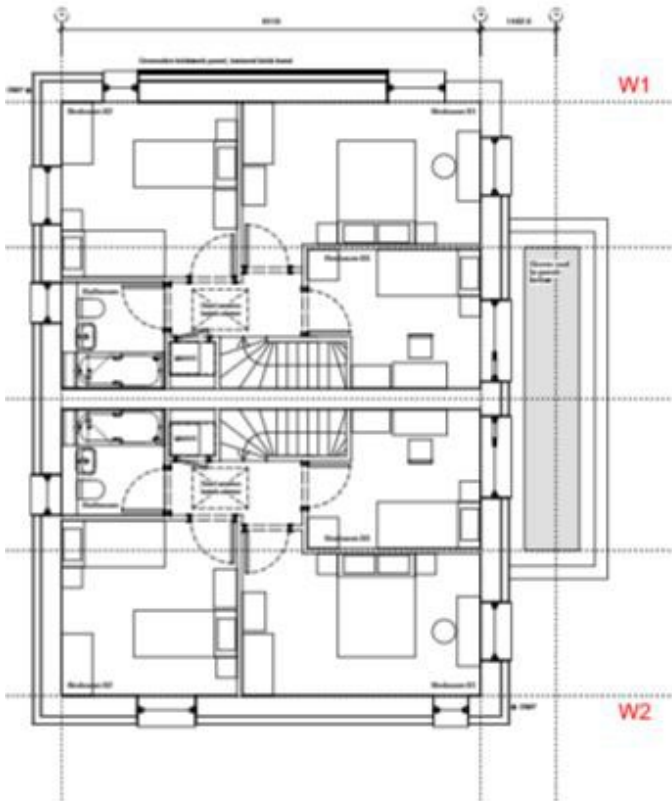
Proposed Ground Floor Plans

Page 24

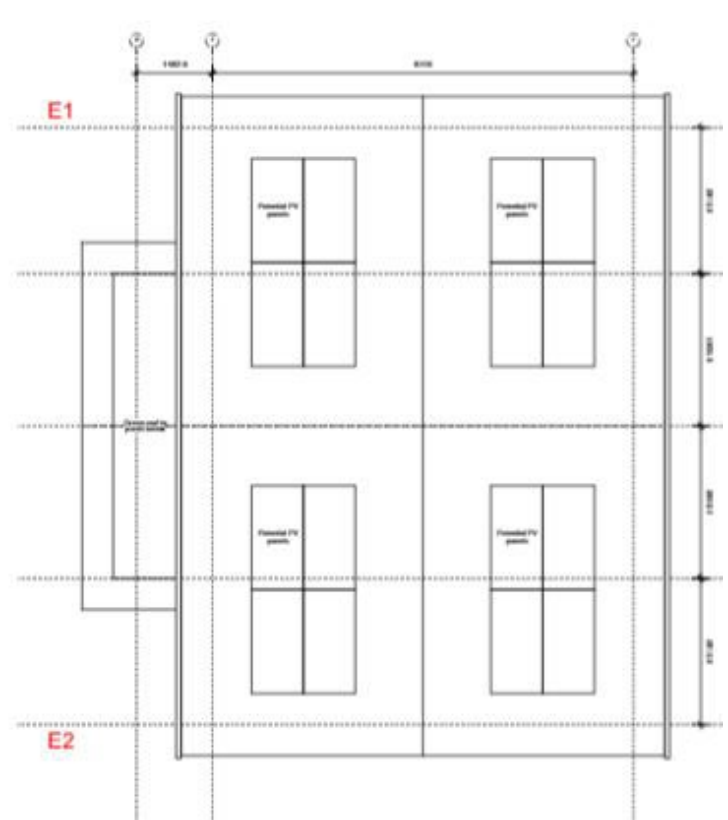
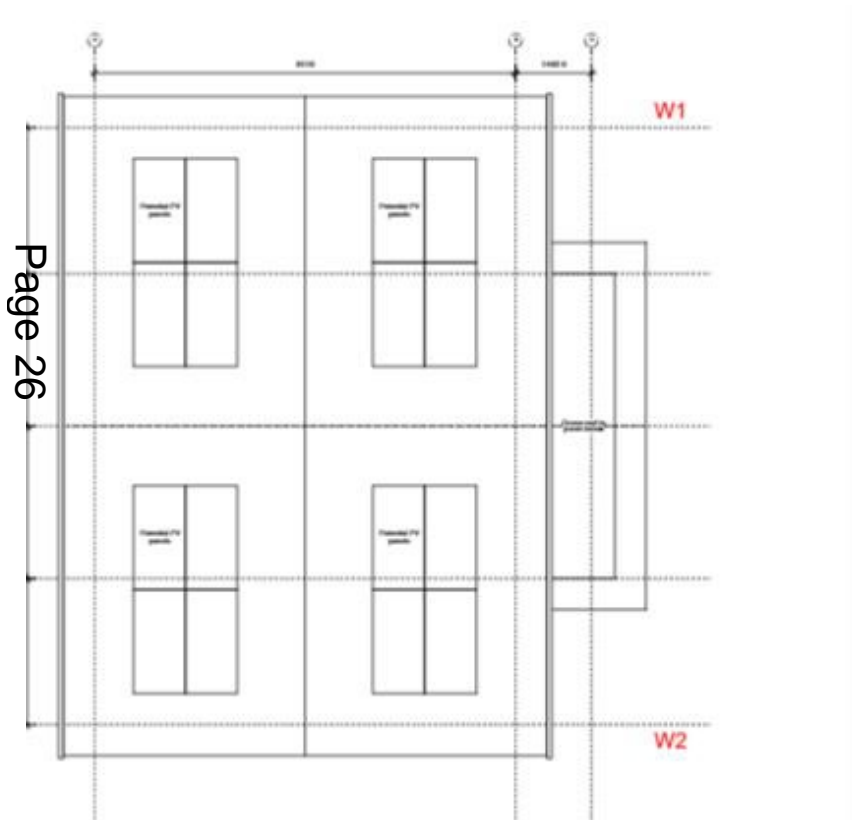


Proposed First Floor Plans

Page 25



Proposed Roof Plan



Proposed View 1

Page 27



Proposed View 2

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Planning Balance

Approval

Key material considerations

- Provision of 4 dwellings that are appropriate to the character and appearance of the area



Refusal

Key material considerations

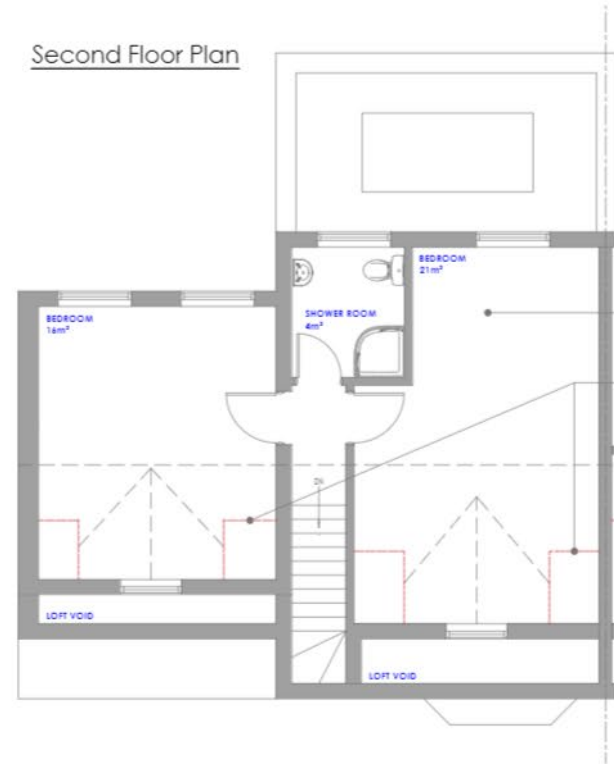
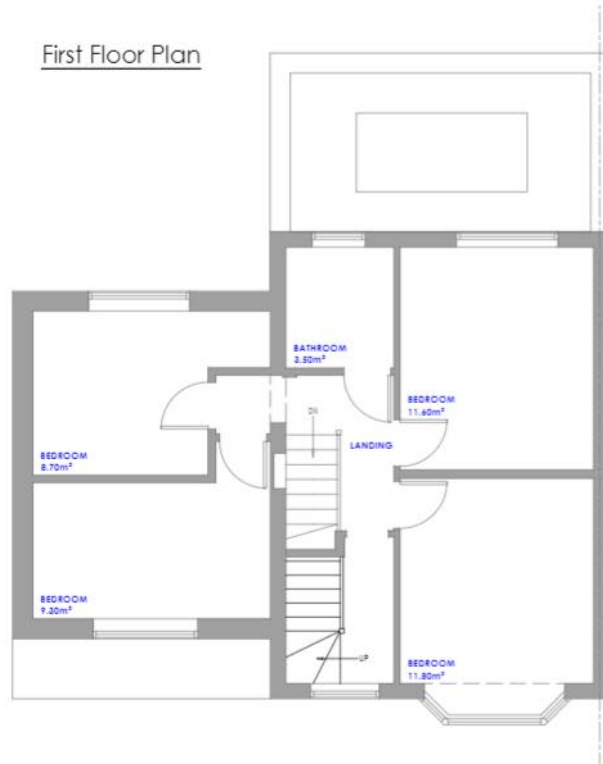
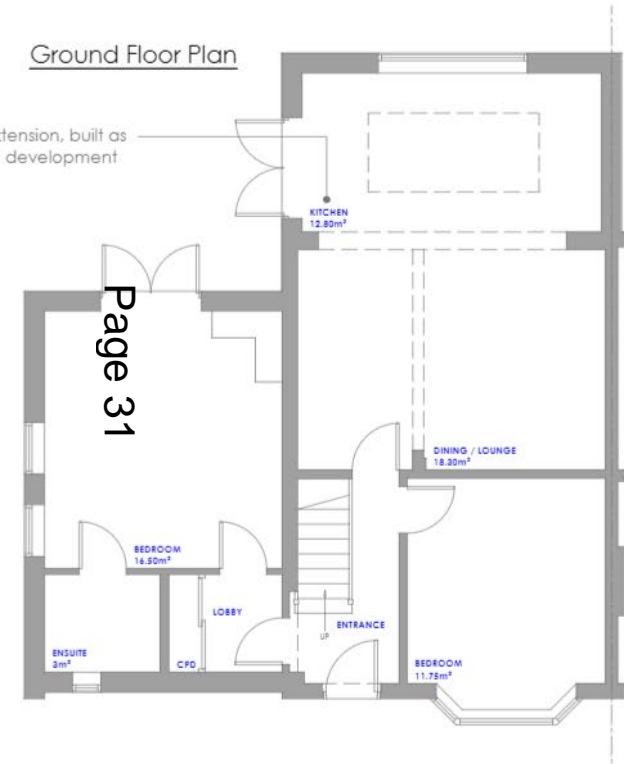
Officer Recommendation: Approve subject to conditions

24/01783/FUL - 2 Scotland Close Site Location Plan

Page 30



Floorplans



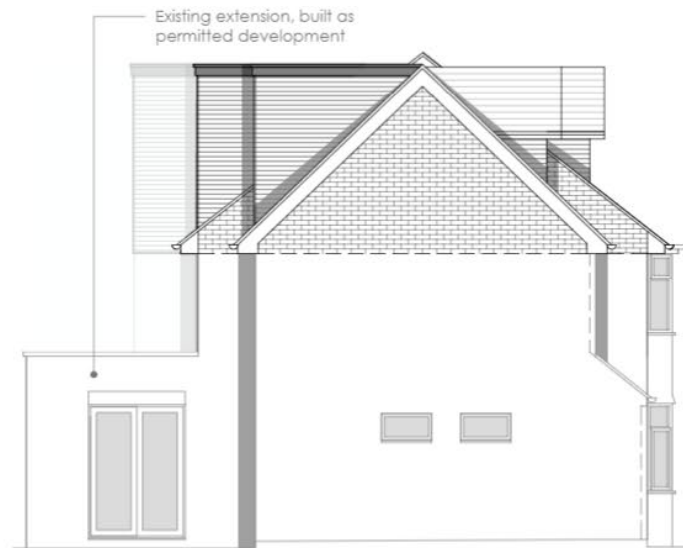
Elevations



Front Elevation - Facing Northeast
No Proposed Changes



Rear Elevation - Facing Southwest
No Proposed Changes



Side Elevation - Facing Southeast
No Proposed Changes

Block Plan

Page 33



Planning Balance

Approval

Key material considerations

- Exceeds space standards
- Sustainable Location



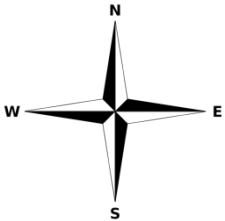
Refusal

Key material considerations

- Neighbour Amenity
- Parking Stress

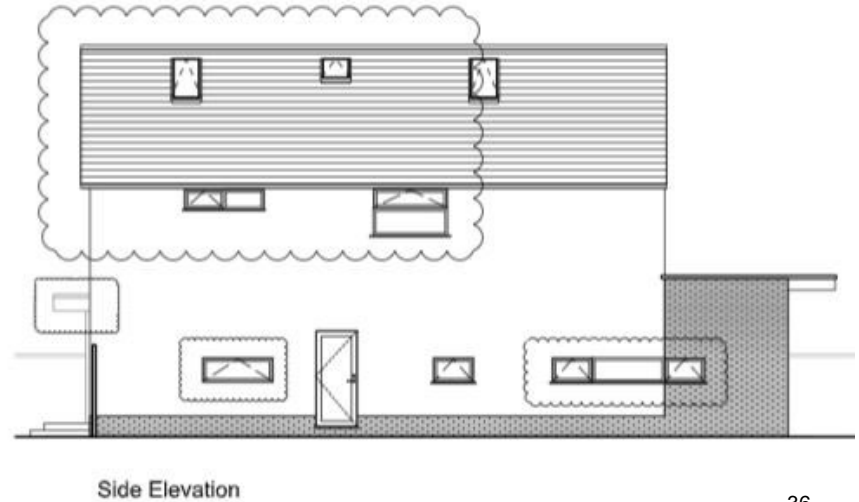
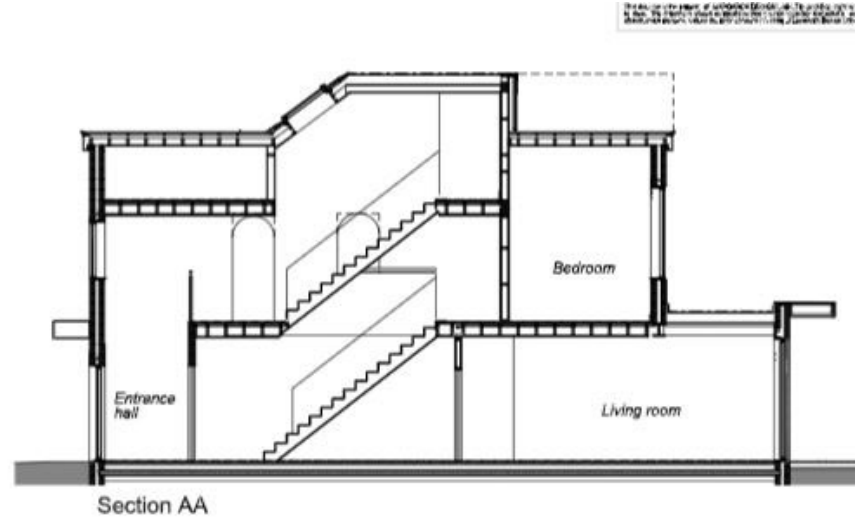
Officer Recommendation: Approve

24/01907/S73 – 48 Cavendish Avenue



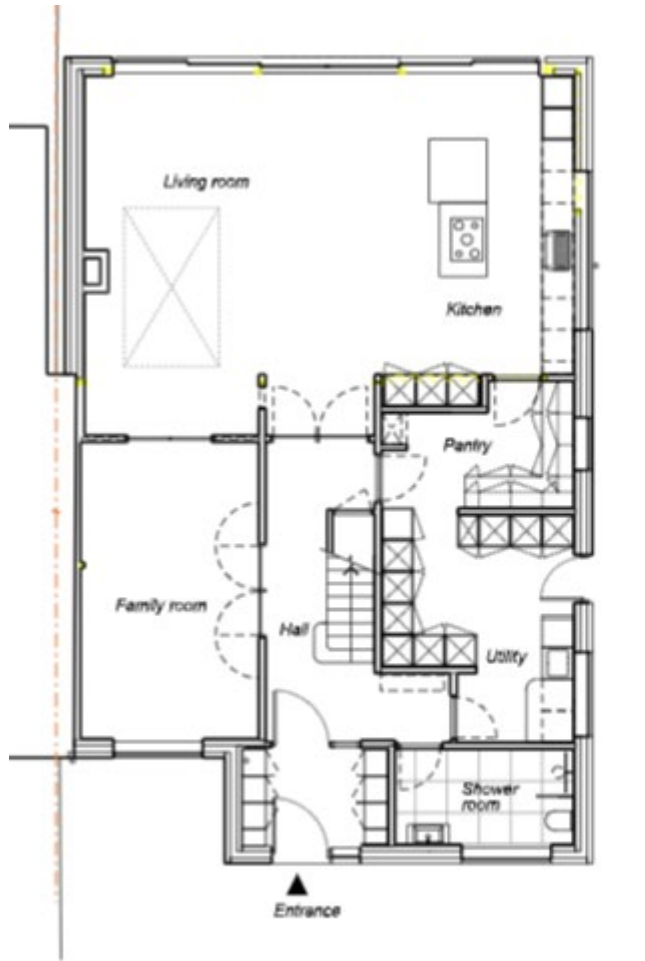
Proposed Elevations

Page 36

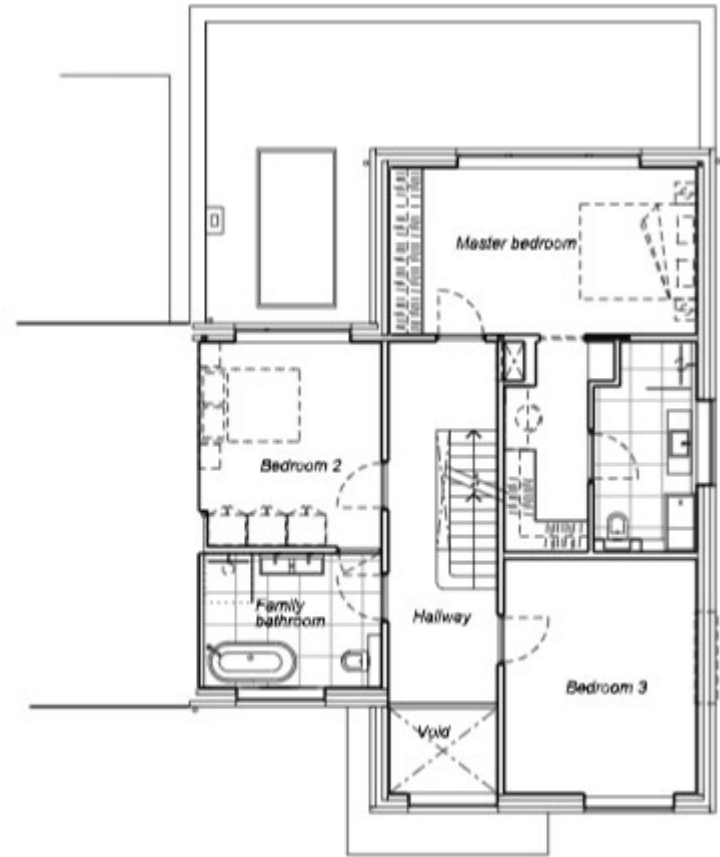


Proposed Ground and First Floor Plans

Page 37



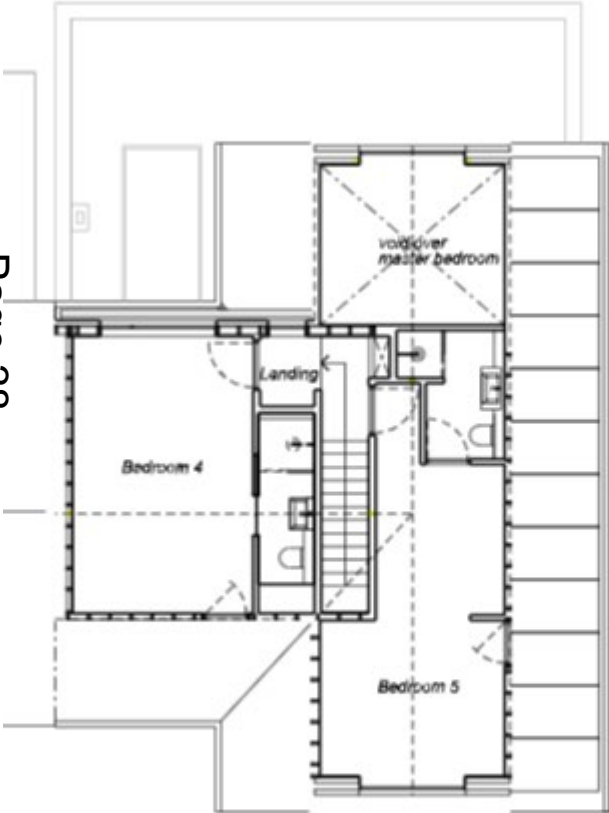
Ground Floor Plan



First Floor Plan

Proposed Second Floor and Roof Plans

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Loft Floor Plan



Roof Plan

Planning Balance

Approval

Key material considerations

- The proposed amendments are in keeping with the character and appearance of the surrounding area.



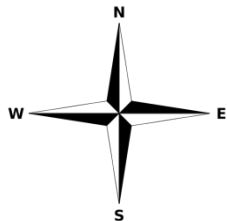
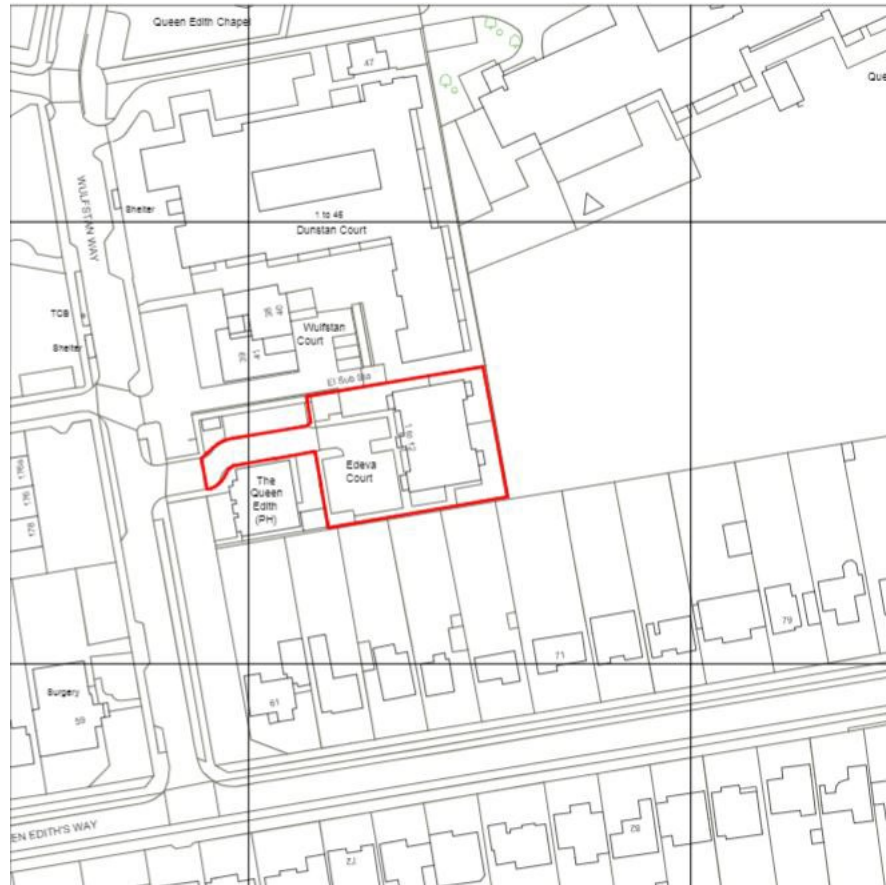
Refusal

Key material considerations

Officer Recommendation: Approve subject to conditions

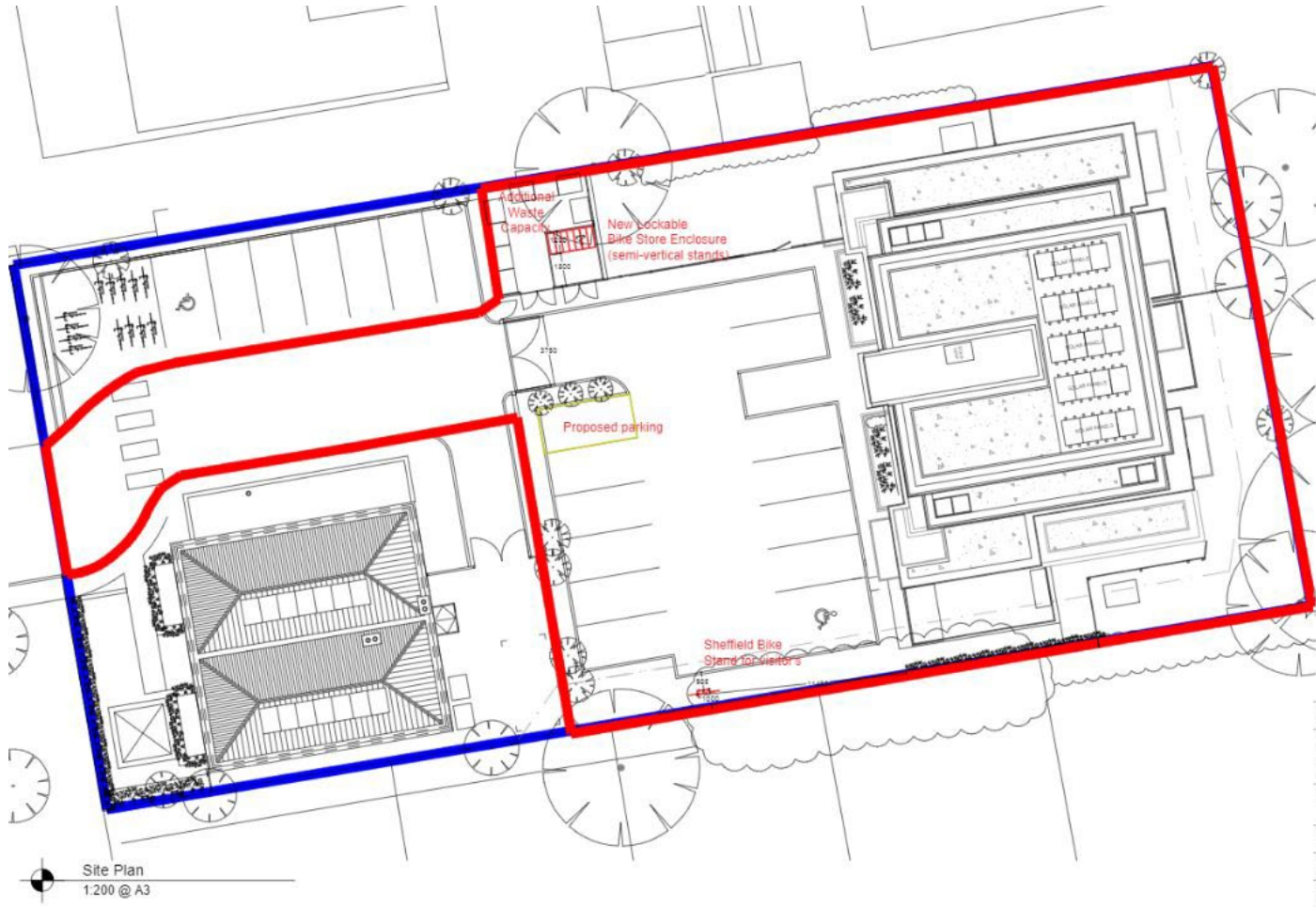
24/01604/FUL – Edeva Court, Cambridge Site Location Plan

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Proposed Site Plan

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Proposed Front and Rear Elevations

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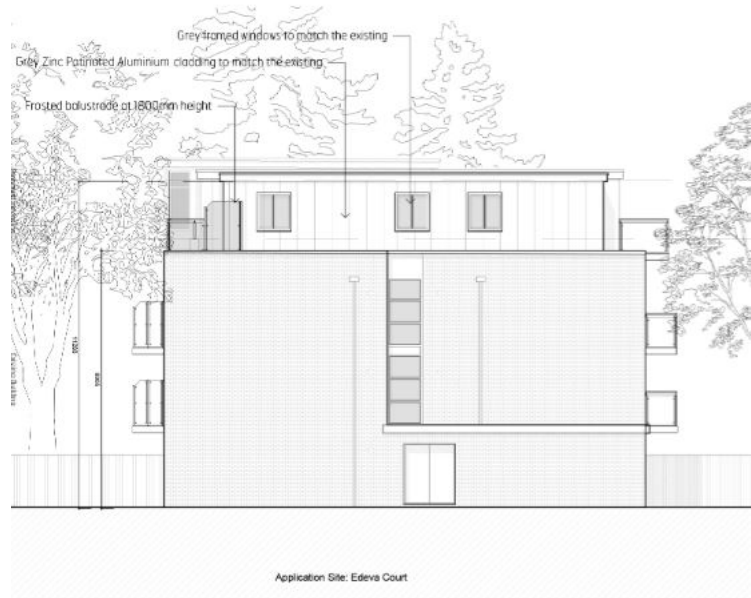


Proposed Rear Elevation (East)
1:100 @ A1

Proposed Side Elevations

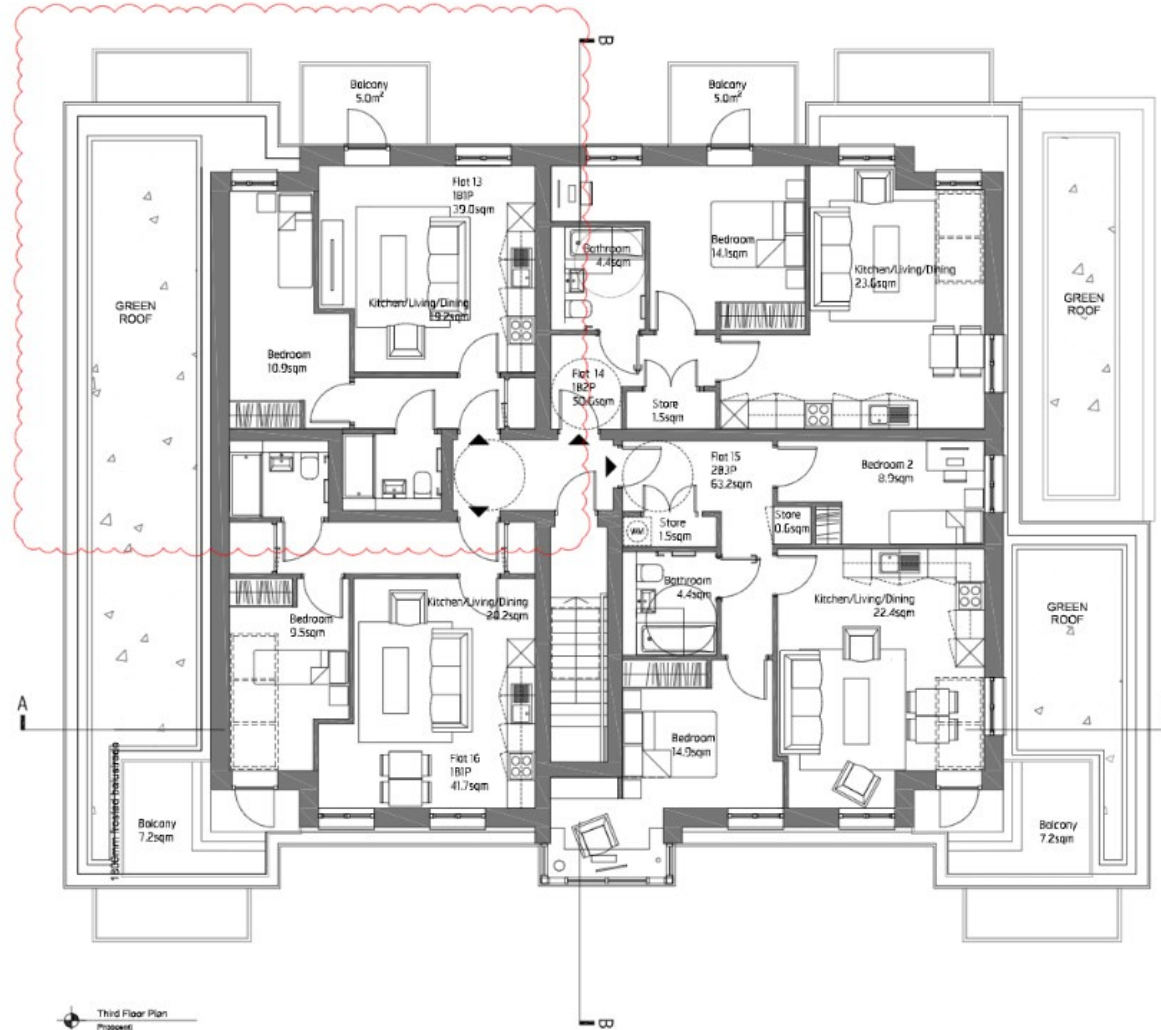


Proposed North Elevation (Side)
1:100 @ A1



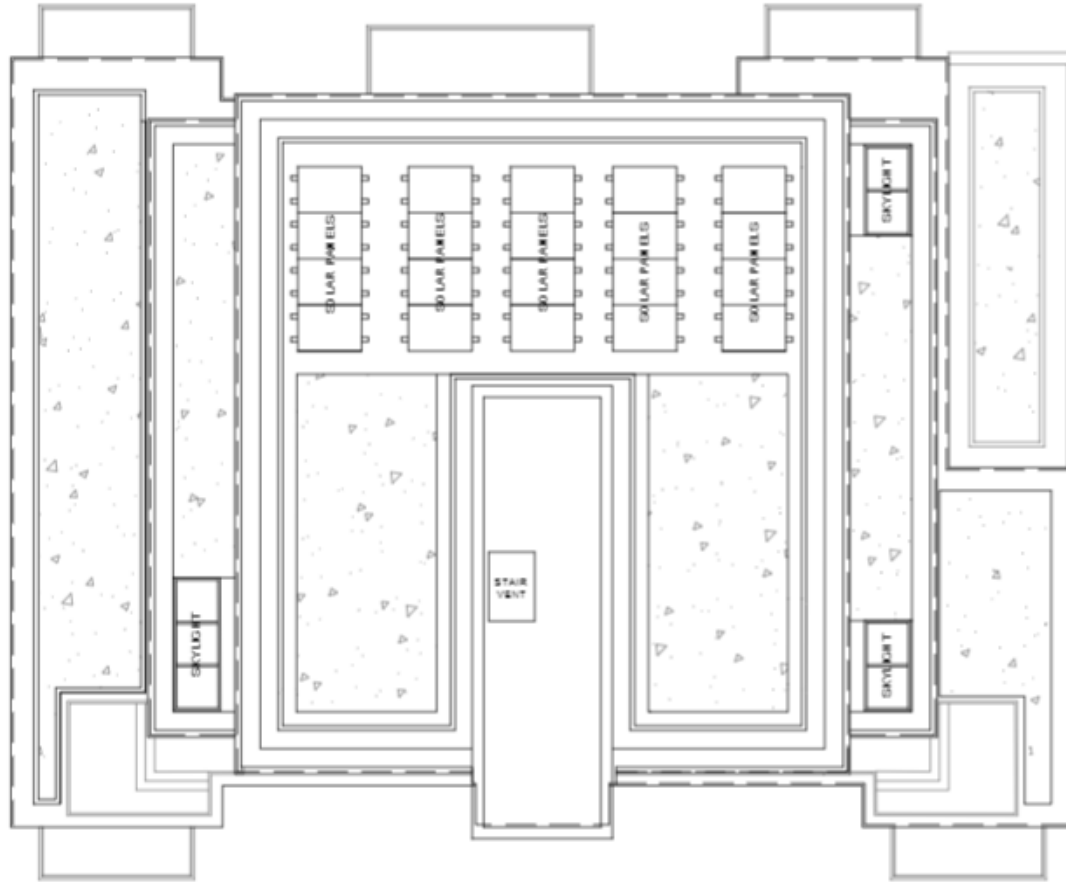
Proposed Third Floor Plan

Page 44



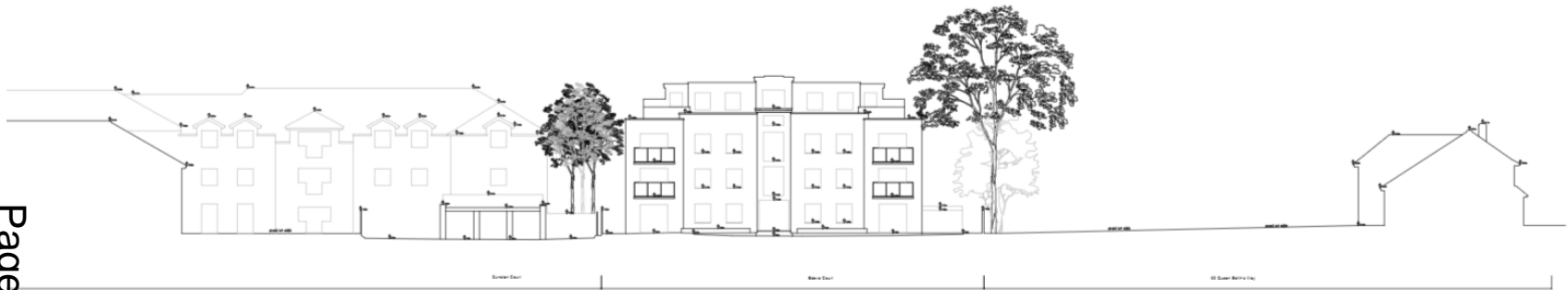
Third Floor Plan
Proposed

Proposed Roof Plan



Proposed Cross Sections

Front – West cross section



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Side – North cross section

Planning Balance

Approval

Key material considerations

- Provision of an additional 4 dwellings in keeping with the character and appearance of the area



Refusal

Key material considerations

Page 47

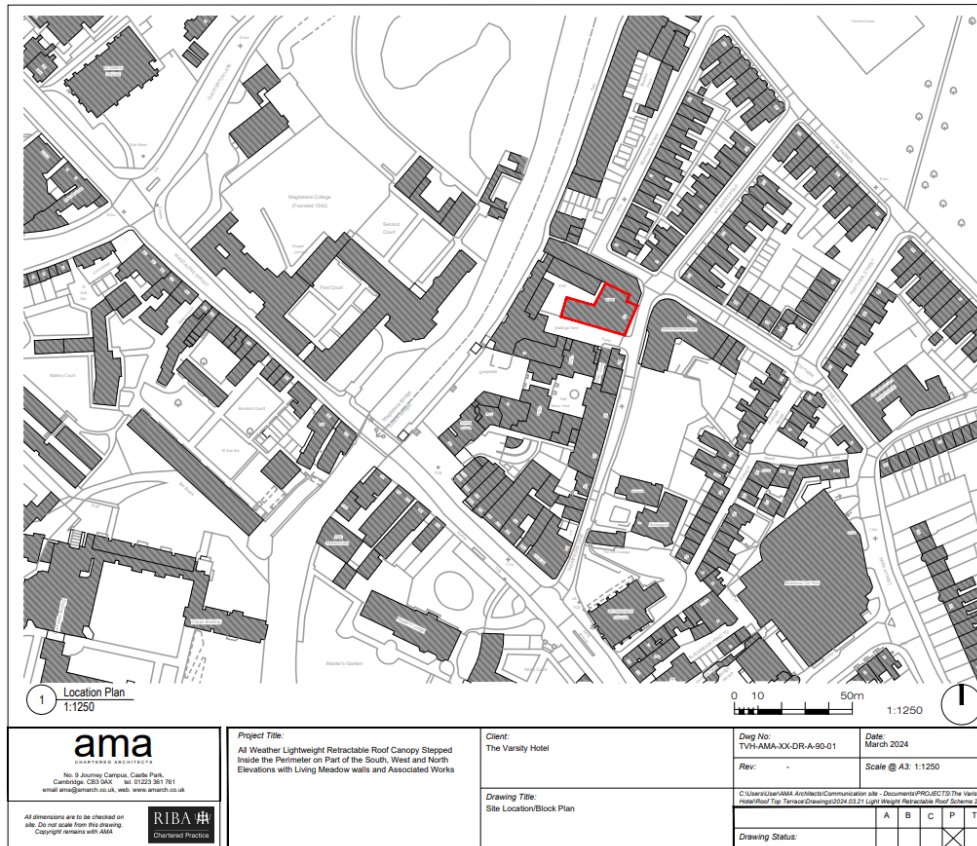
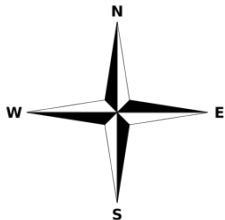
Officer Recommendation: Approve subject to Conditions

Ref no. 24/01408/FUL

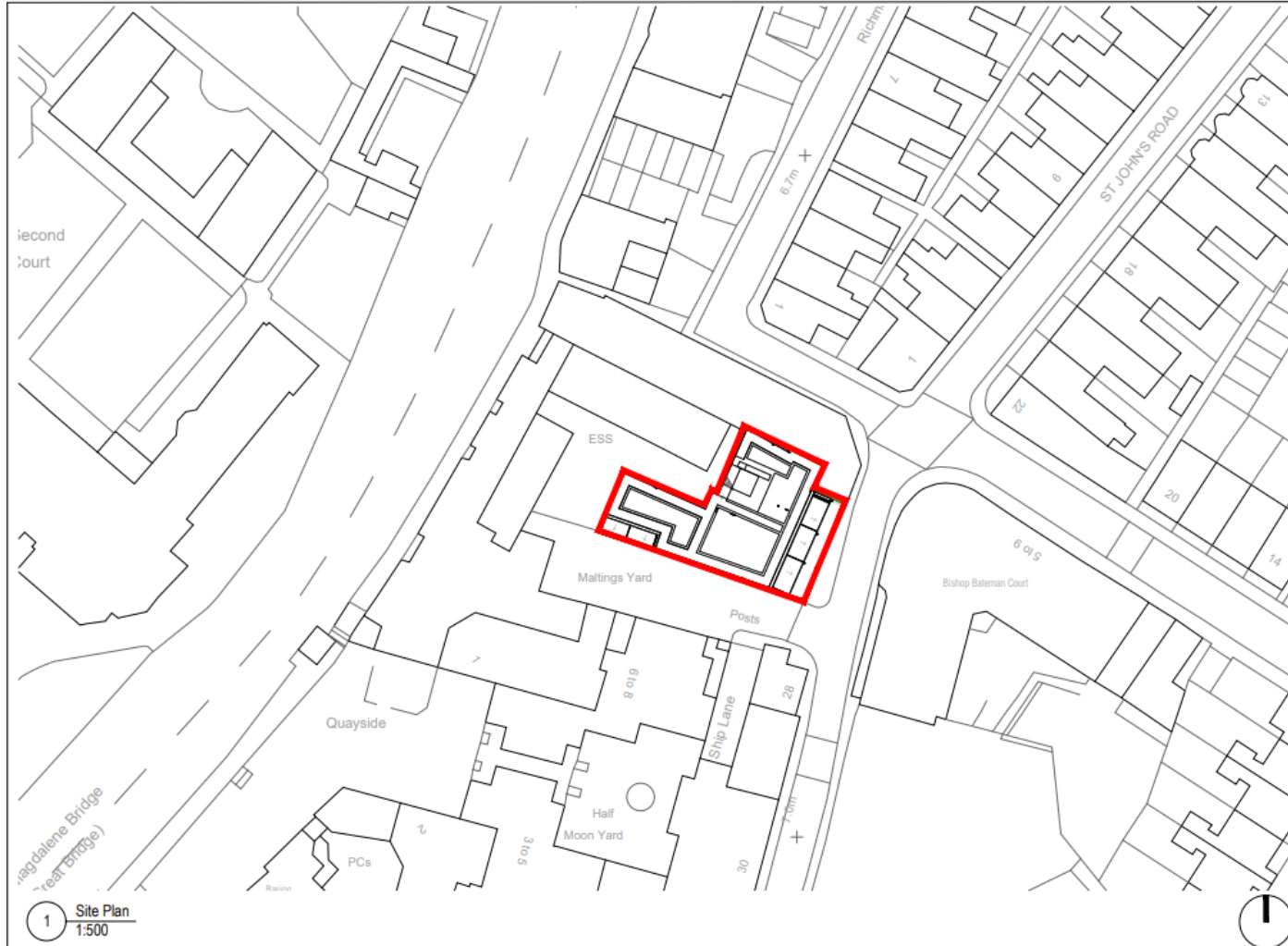
The Varsity Hotel and Spa, 24 Thompson, Cambridge

Site Location Plan

Page 48

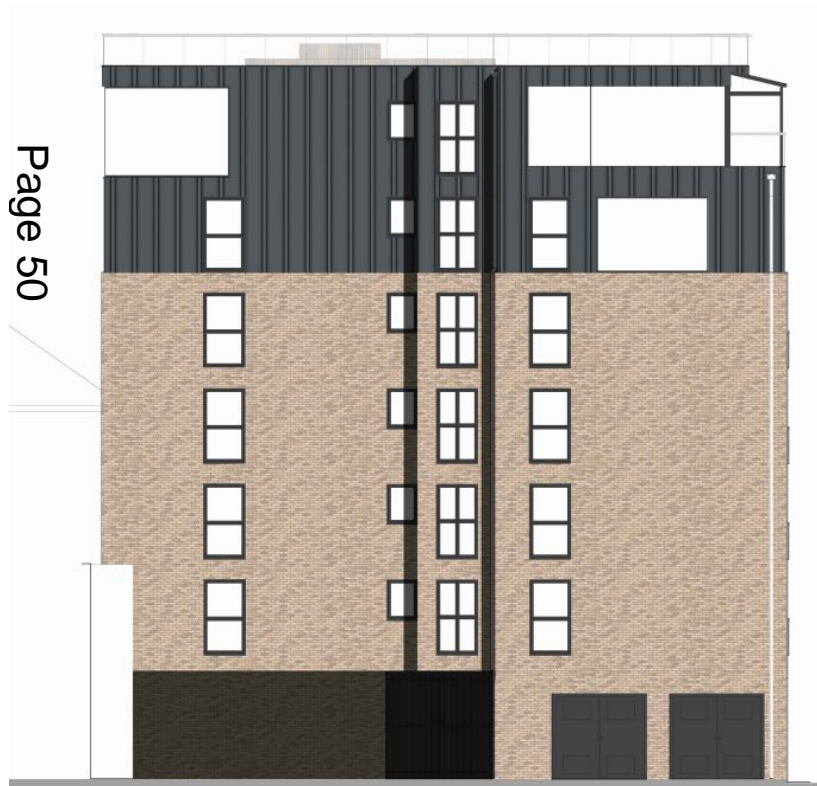


Existing Block Plan



Existing and Proposed West Elevation

Page 50



1 Existing West Elevation
1:100



2 Proposed West Elevation
1:100

Existing and Proposed East Elevation



1 Existing East Elevation
1:100



2 Proposed East Elevation
1:100

Existing and Proposed South Elevations

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1 Existing South Elevation
1:100



2 Proposed South Elevation
1:100

Rev:		Date:	
Revisions:			

Existing and Proposed North Elevation



1 Existing North Elevation
1:100

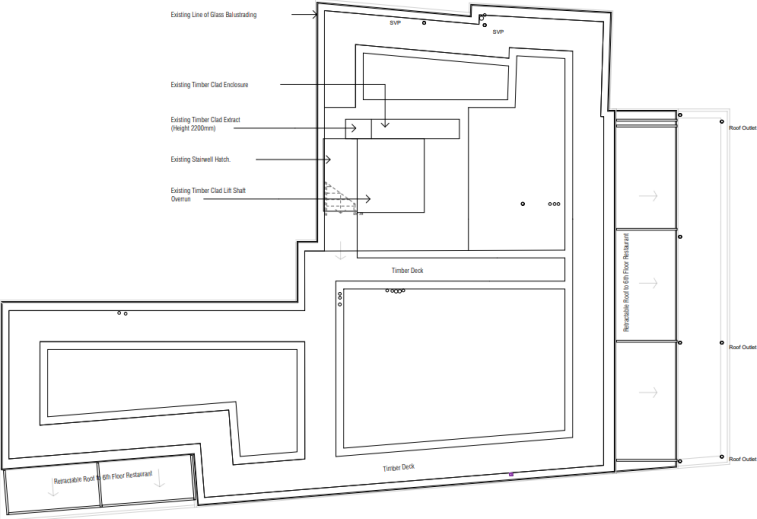


2 Proposed North Elevation
1:100

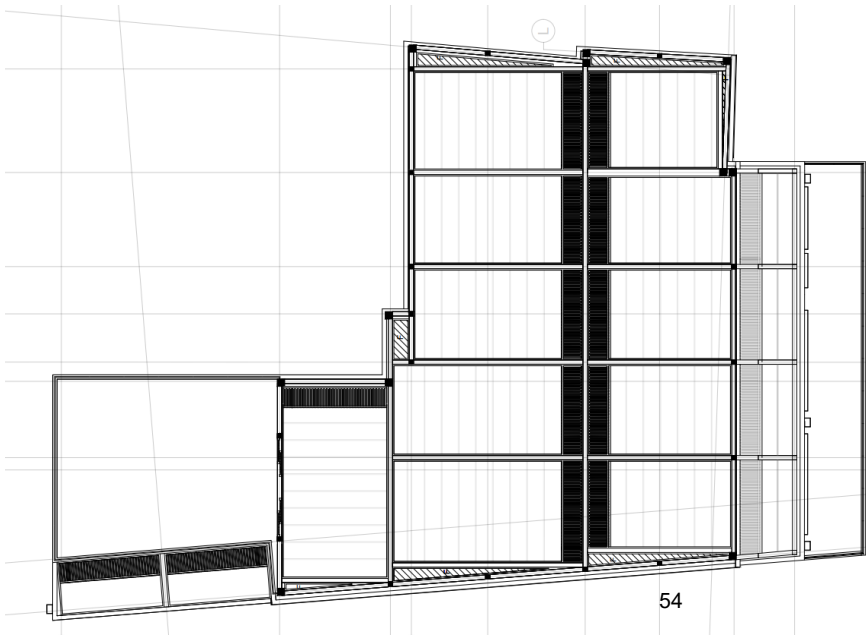
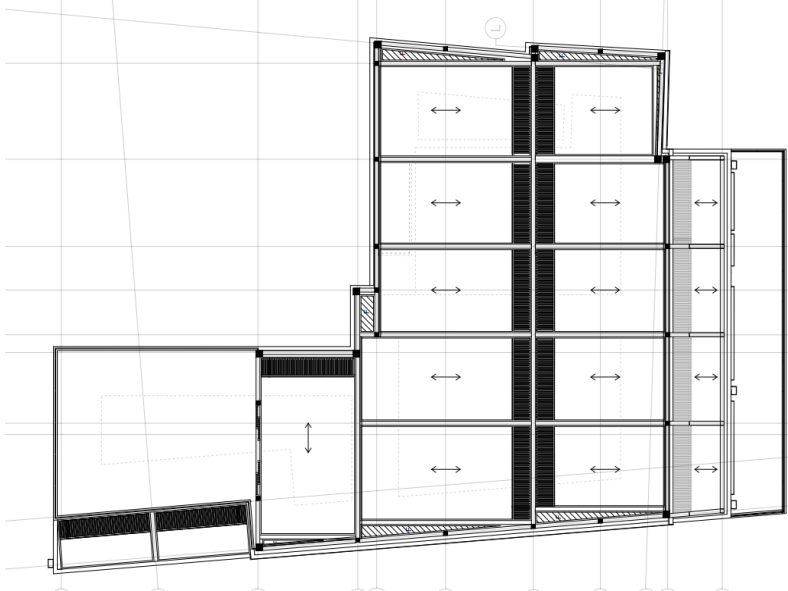
Rev:	Date:
Revisions:	

Existing and Proposed Roof Plan (open and closed)

Page 54

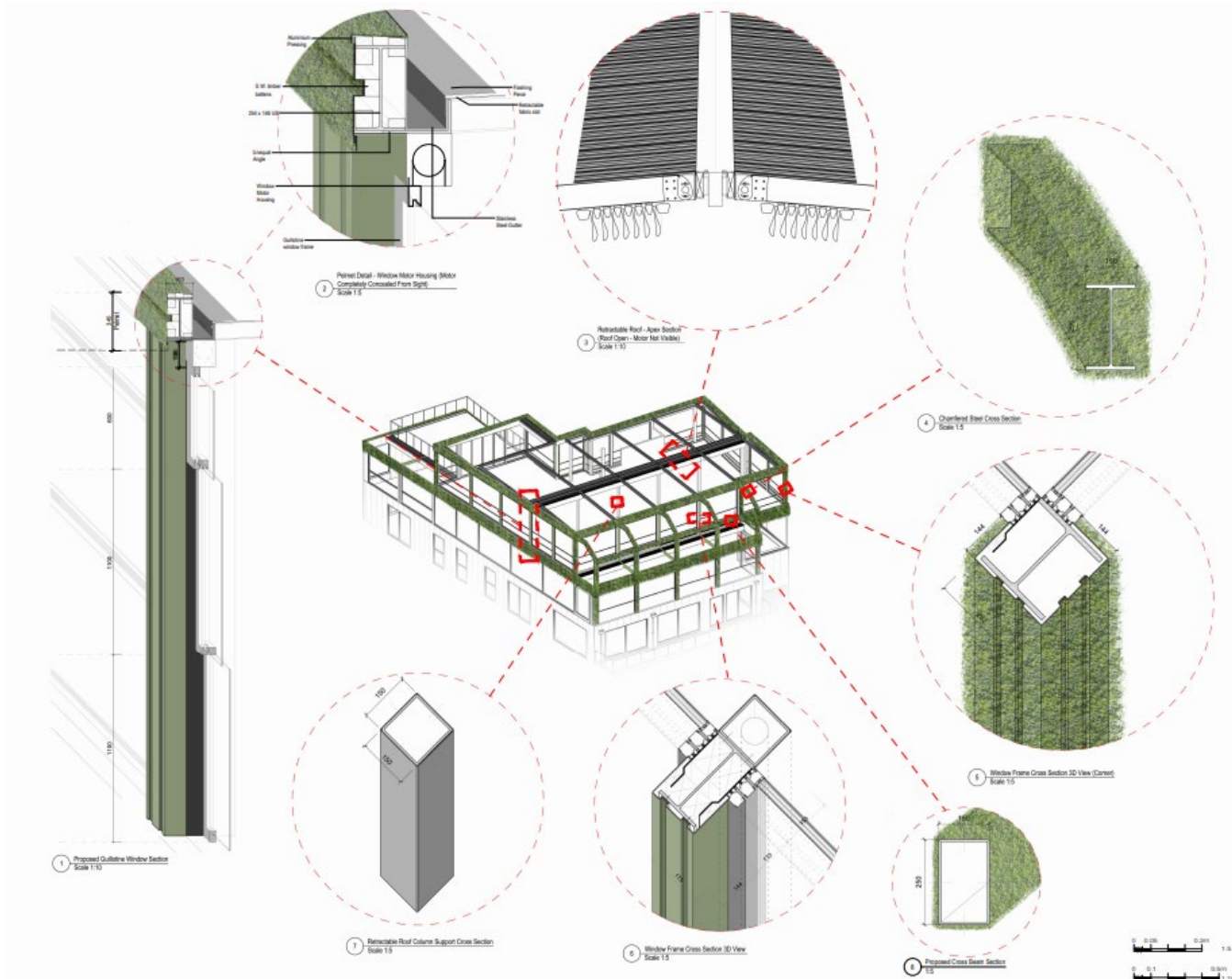


1 Existing Roof Plan
1:100



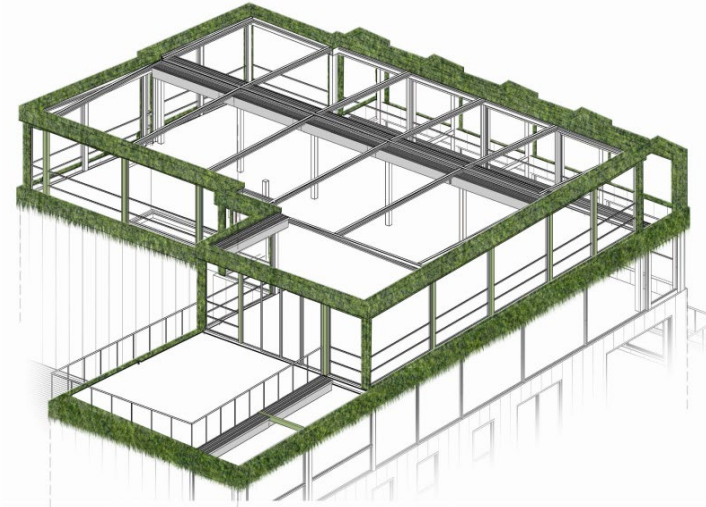
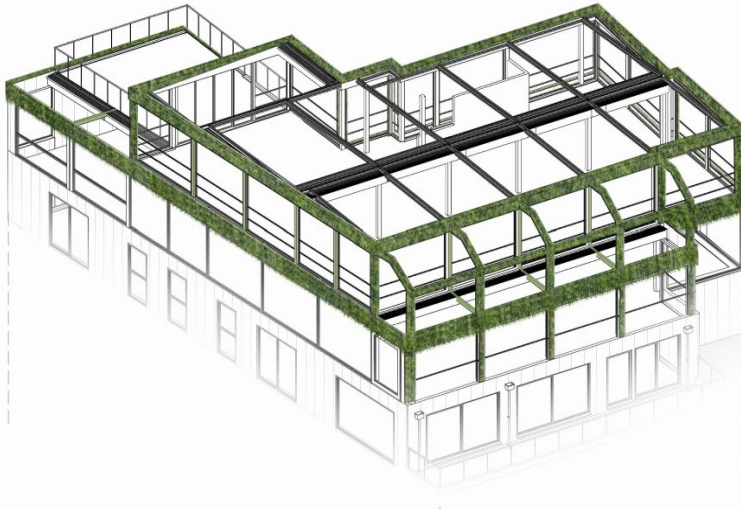
Detailed Roof Drawing

Page 55



3D Detail Design (front and rear)

Page 56



Visualisation Existing and Proposed Magdalene Bridge

Page 57



Visualisation Existing and Proposed Central Jesus Green



Visualisation Existing and Proposed Jesus Green Cafe



Visualisation Existing and Proposed Castle Mound

Page 60



Visualisation Existing and Proposed Church of St Mary's



Visualisation Existing and Proposed Fellows Garden



Planning Balance

Approval

Key material considerations

Public benefits including minor employment increase and tourism potential



Refusal

Key material considerations

Harm to Central Conservation Area

Harm to Listed Buildings (grade I and II)

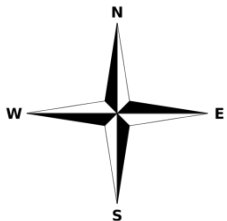
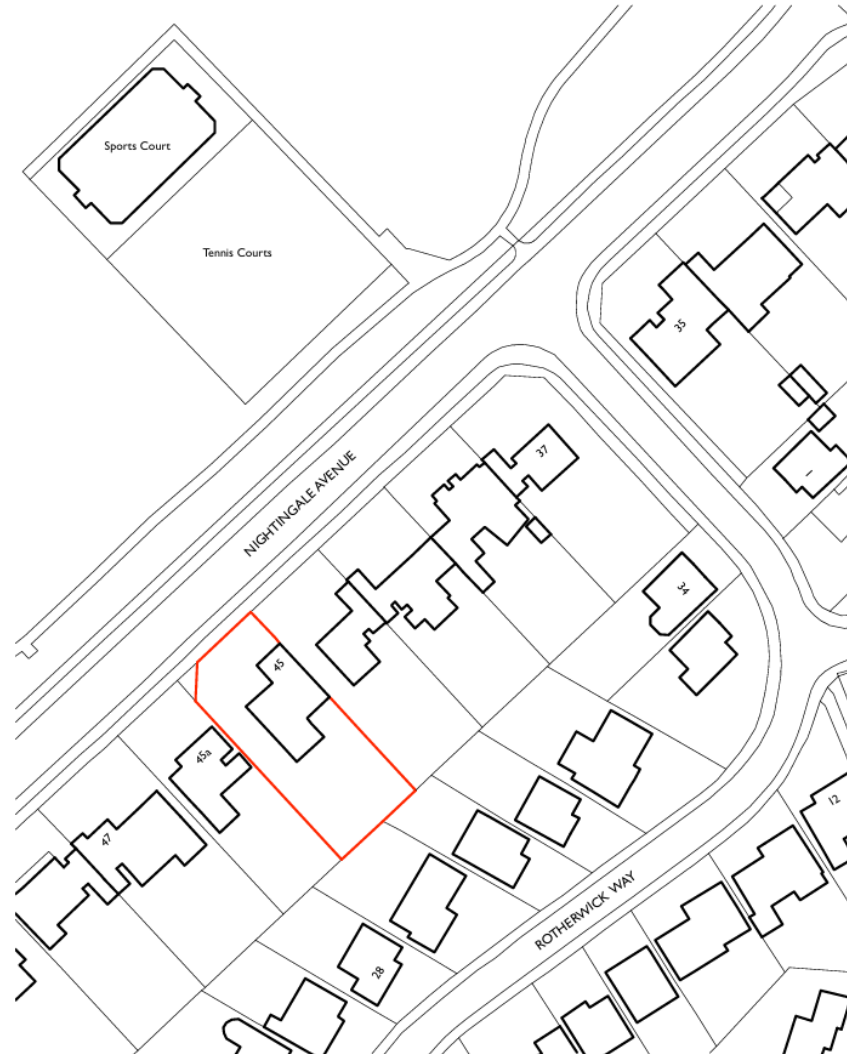
Harm to Buildings of Local Interest

Harm to setting of the River Cam

Officer Recommendation: Refuse

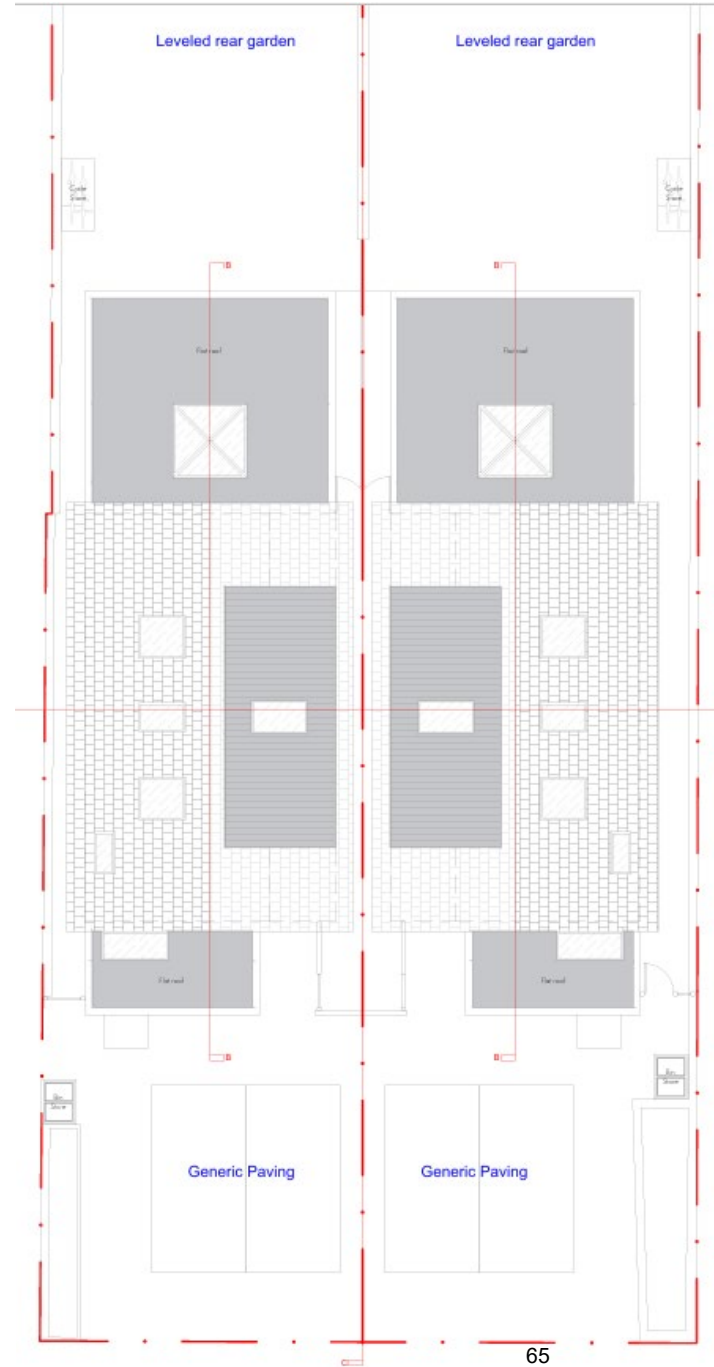
Ref no.24/01388/S73
45 Nightingale Avenue
Site Location Plan

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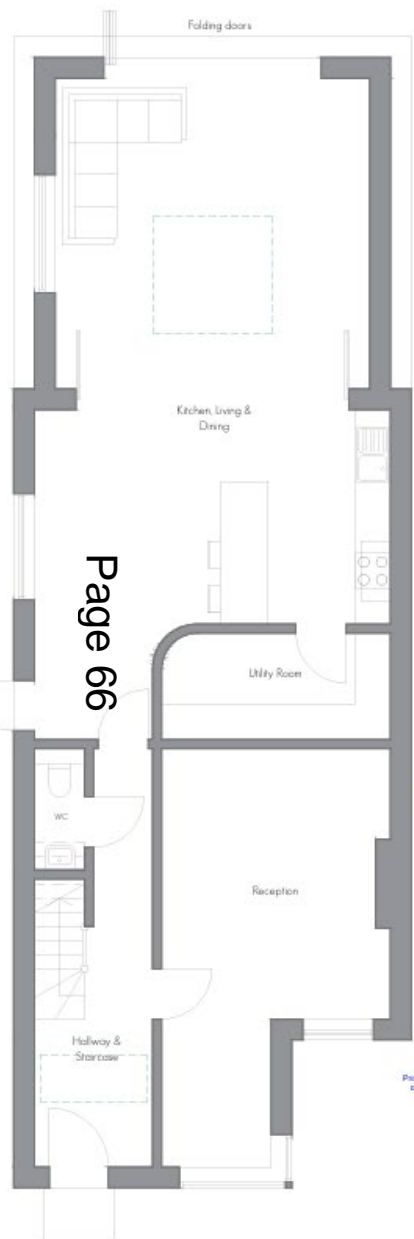


Proposed Site Plan

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PROPOSED
SITE PLAN

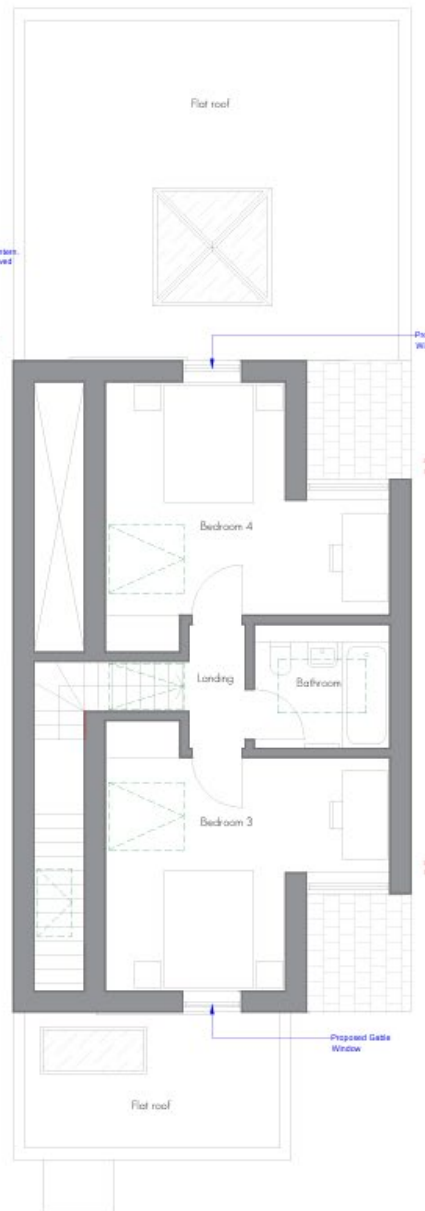


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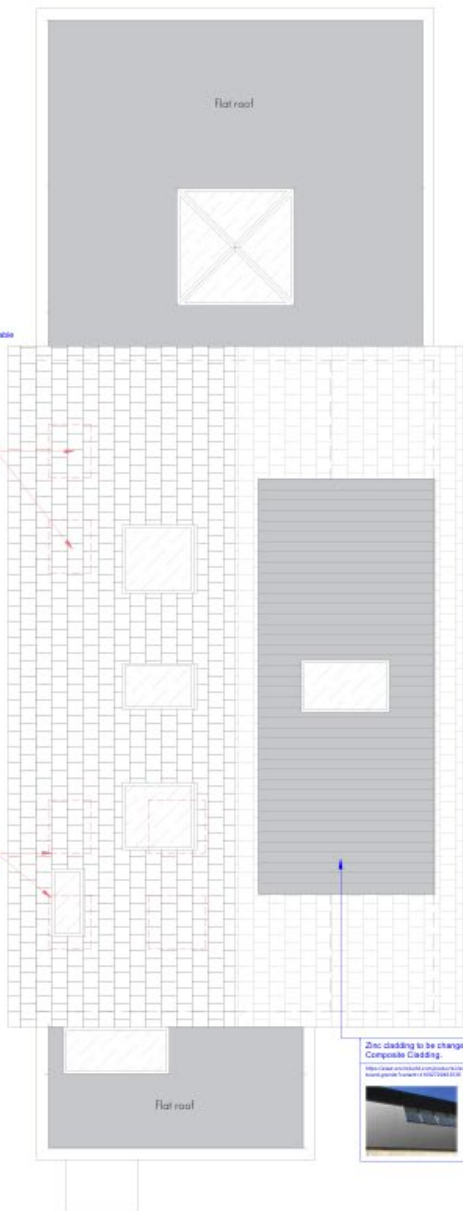
PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

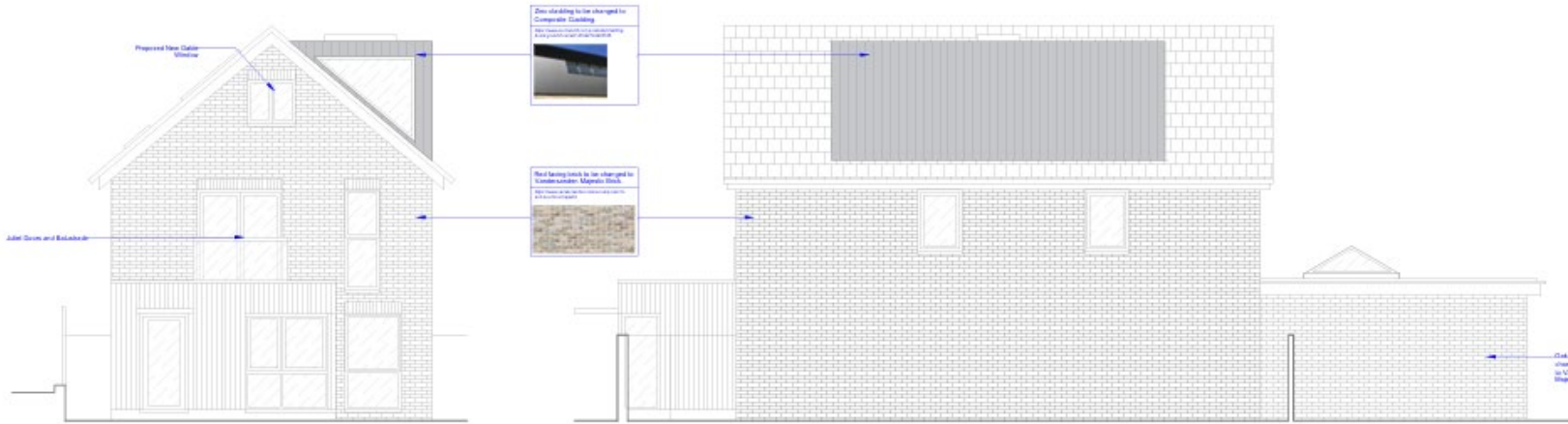


PROPOSED SECOND FLOOR PLAN



66
PROPOSED ROOF PLAN

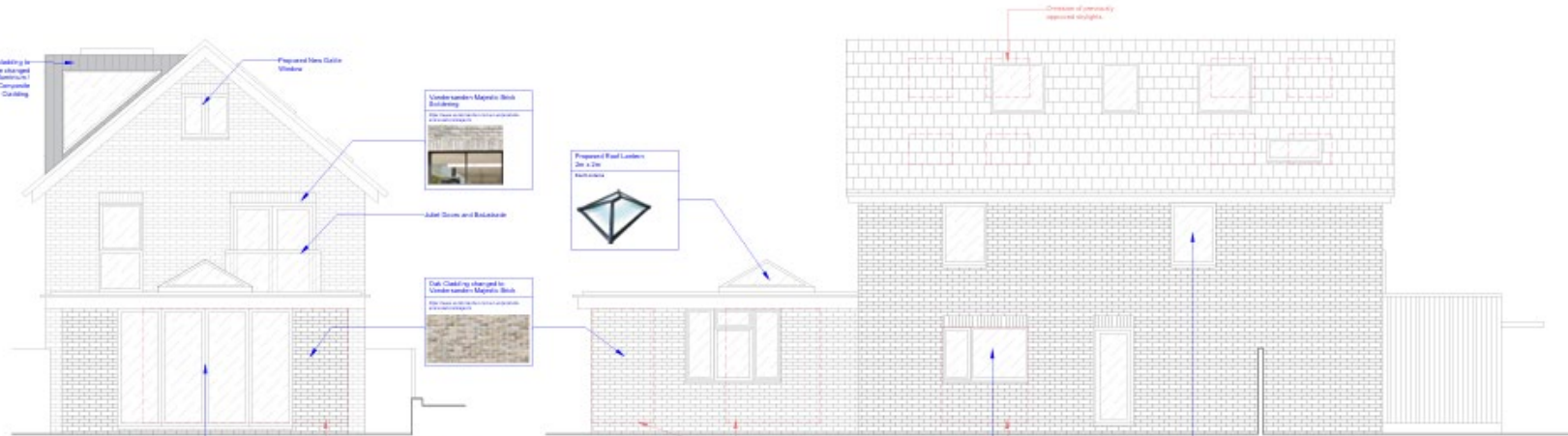
Dwelling 1 - Proposed Elevations



PROPOSED FRONT ELEVATION

PROPOSED SIDE (WEST) ELEVATION

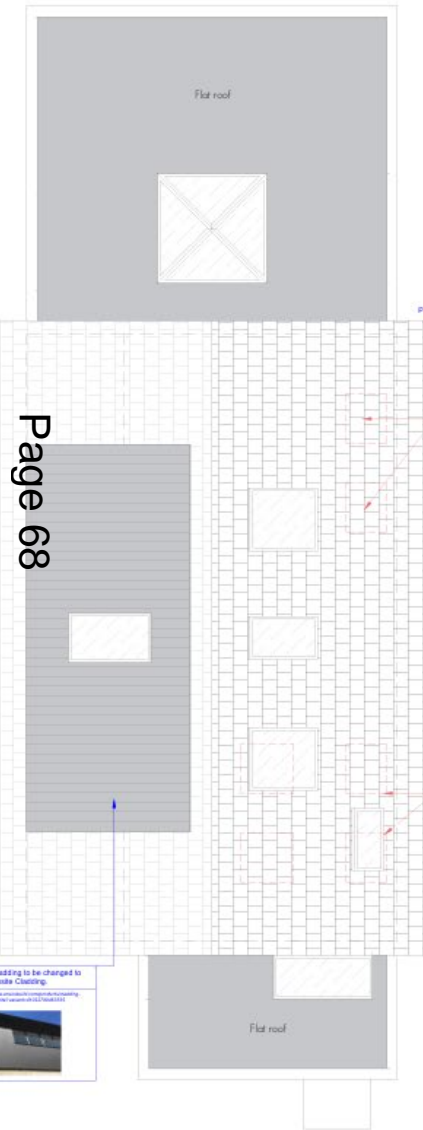
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PROPOSED REAR ELEVATION

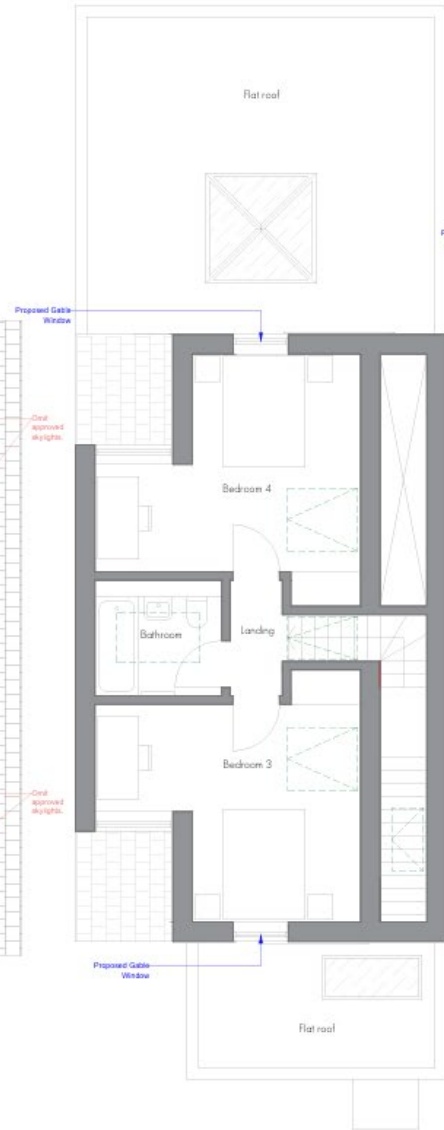
PROPOSED SIDE (EAST) ELEVATION

Dwelling 2 – Proposed Floorplans



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Zinc cladding to be changed to Composite Cladding.
 Composite Cladding to be approved.
 Approved cladding to be used on all external walls.



PROPOSED ROOF PLAN

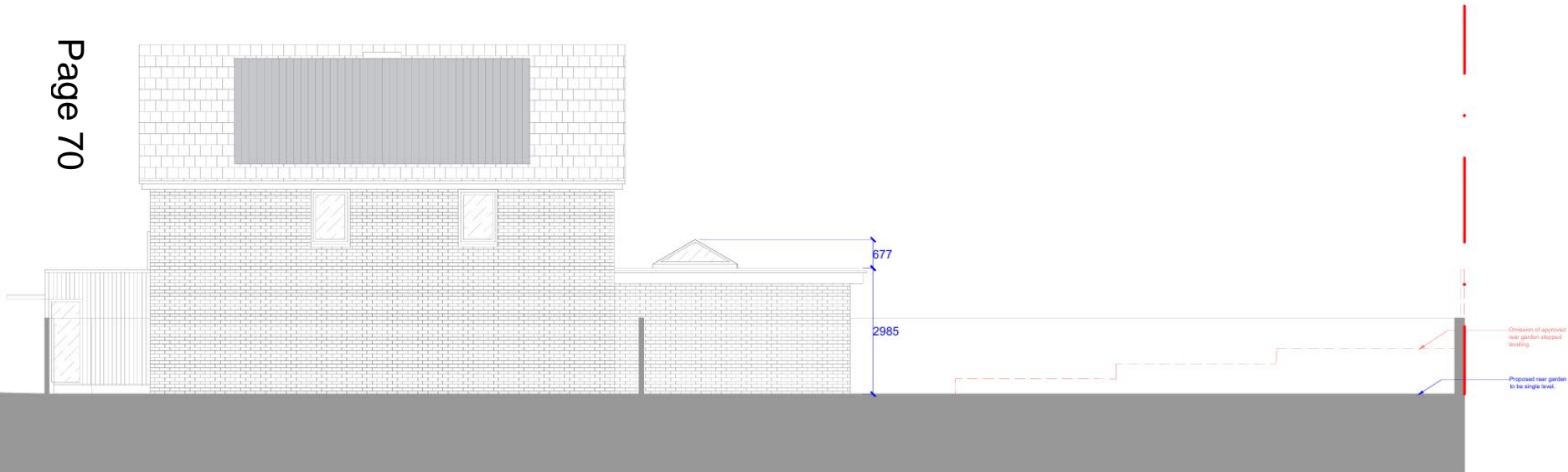
PROPOSED SECOND FLOOR PLAN

PROPOSED FIRST FLOOR PLAN

PROPOSED GROUND FLOOR PLAN

Proposed Site Section

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PROPOSED
SITE SECTION CC

Planning Balance

Approval

Key material considerations

- Proposed changes would not compromise neighbour amenity or have any harmful impact on character and appearance of area.
- Contribution to supply of residential accommodation within Cambridge



Refusal

Key material considerations

- None.

Officer Recommendation: Approve

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